



209 S. MARKET ST.
INGLEWOOD, CA. 90301
323.553.2376

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CLIENT INFO:
VISTA MESA INVESTMENT GROUP, LLC,
1158 LAS PULGAS ROAD
PACIFIC PALISADES, CA

CONSULTANT LOGO:

E. 5TH ST.
APARTMENTS
425 E. 5TH ST.
LONG BEACH, CA 90802
PROJECT # 17010

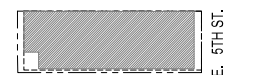
05.07.18
PLAN CHECK
SUBMITTAL

STAMP:

NOT FOR
CONSTRUCTION

NO. ISSUES / REVISIONS DATE

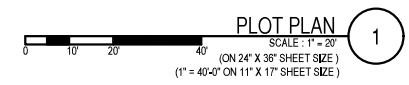
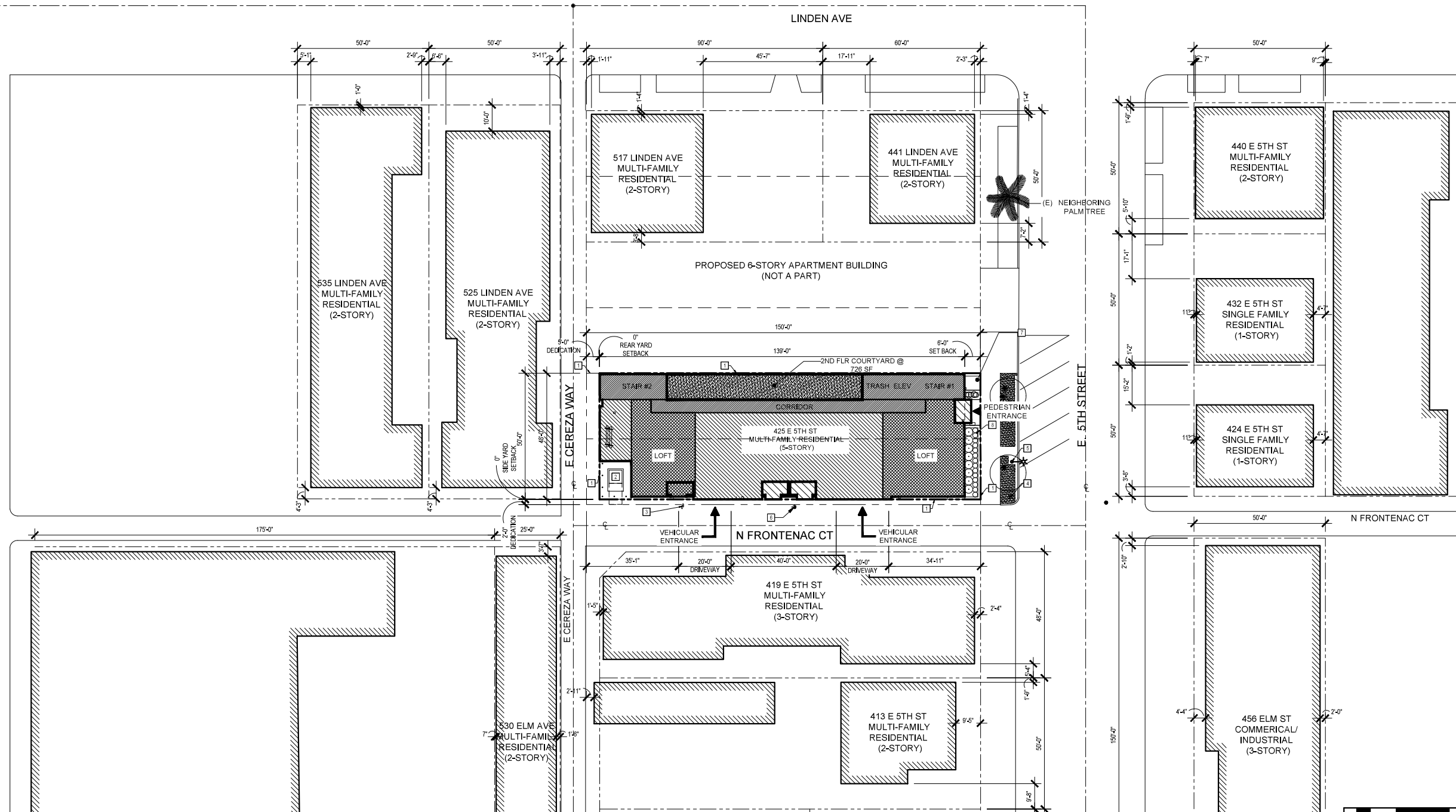
NO.	ISSUES / REVISIONS	DATE



PLOT PLAN

ISSUE DATE: 05.07.2018

A0.00



GENERAL NOTES:

- TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED
- PROVIDE CLEAR ACCESS AT GRADE IN FRONT OF EVERY EMERGENCY ESCAPE WINDOW FROM EVERY SLEEPING ROOM BELOW THE FOURTH STORY.
- REFER TO CIVIL DRAWINGS FOR UTILITIES AND SITEWORK.
- REFER TO CIVIL DRAWINGS FOR BUILDING PLACEMENT ON SITE.
- CONSTRUCTION WASTE TO BE HANDLED BY A CERTIFIED HAULER
- GENERAL CONTRACTOR, FRAMING CONTRACTOR, AND SCAFFOLDING CONTRACTOR REQUIRED TO OBTAIN CA OSHA PERMITS PRIOR TO COMMENCEMENT OF WORK

KEYNOTES:

- PROPERTY LINE SHOWN AS DASHED
- TRANSFORMER LOCATION, PER LONG BEACH CITY REQUIREMENTS
- (E) POWER POLE, PER CIVIL DWGS
- (E) FIRE HYDRANT, PER CIVIL DWGS
- (E) STREET LIGHT, PER CIVIL DWGS
- (E) POWER POLE, TIE DOWN, PER CIVIL DWGS
- LOWEST ELEVATION ON SITE: 36.3', PER SURVEY
- FIRE DEPARTMENT CONNECTION

LEGEND:

- 5-STORY MULTIFAMILY RESIDENTIAL
- LOFT/MEZZANINE AREA
- ELEVATOR/STAIR/CORRIDOR CIRCULATION
- COURTYARD @ 2ND FLR
- UNIT BALCONIES

GENERAL SPECIFICATIONS FOR ALL GRADING PLANS

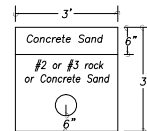
- Specifications shall have precedence over drawings.
- The stamped set of plans shall be on the job site at all times.
- All recommendations and conditions of the approved soils and/or geological report and the Department's approval letters shall be part of the plans and shall be at the job site at all times.
- No work shall be started in or about a grading project without first notifying the grading inspector.
- No grading work, including import and export, shall be done between the hours of 6:00 p.m. and 7:00 a.m. on any day and no work shall be done on Sunday at any time, except in emergencies as provided in Section 91.7001(f) of the Building Code. A haul route satisfactory to the Grading Division or approved by the Board of Building and Safety commissioners shall be shown on the plans. The Traffic Bureau of the Long Beach Police Department shall be notified prior to the start of hauling (213)485-3106.
- Owner shall keep the construction area sufficiently damp to control dust caused by grading and construction. Owner shall, at all times, provide reasonable control of dust caused by wind.
- If the grading job extends over a period of time exceeding six months, the Department may require planting of those portions of the job where all other grading requirements have been met in order to prevent dust and erosion.
- Highway equipment shall be kept in good operating condition and muffled as required by law.
- Except in emergency cases, the repair of construction equipments or the delivery of construction materials is not permitted before 8:00 a.m. or after 6:00 p.m. on Saturday nor any time on Sunday.
- The fill materials in each truckload shall be kept low enough to prevent spillage and shall be sufficiently wet down to prevent dust.
- No person shall, when hauling any earth, sand, gravel, rock, stone debris, paper or any other substance over any public street, alley or other public place, allow such materials to blow or spill over and upon the public street, alley, or other public place or adjacent private property.
- No person shall, when excavating, compacting, hauling or moving earth, sand, gravel, rock, stone, debris, or any other similar substance, cause, allow or permit such materials to drop, be deposited, or fall from the body, tires, or wheels of any vehicle so used upon any public street or alley without immediately and permanently removing the same therefrom.
- Permission shall be secured from the Department of Public Works if the trucks are loaded in the street.
- The loading or dumping of excess soil shall be approved by the grading inspector prior to starting excavation.
- Brushing and scarifying of slopes shall process only as far as periodically cleared by the grading inspector.
- Prior to placing fill, slopes shall be properly prepared by brushing and benching.
- Loose material shall not exceed 3" in depth on a graded slope.
- All debris and foreign material shall be removed from the site.
- All loose materials shall be removed or compacted per approved plan.
- If at any stage of work on an excavation or fill the department determines that further work as authorized by an existing permit is likely to endanger any property or public way, the Department may require as a condition to allow the work to continue, that plans for such work be amended to include adequate safety precautions.
- Sanitary facilities shall be maintained on the site from the beginning to completion of grading operations.
- The engineering geologist, soils engineer and civil engineer shall comply with RCA 4-67 and 5-67 and shall provide the Department with a grading certification upon completion of the job.
- An as-graded plan at a scale of 1" = 40' (or other scales deemed appropriate by the Department) prepared by the tract civil engineer shall be submitted with the required grading certifications to the Department upon job completion.
- The permittee shall provide supervisory control during the grading operation to insure compliance with approved plans and with the Municipal Code. When necessary, the permittee shall avail himself of geological and foundation engineering services and the services of a Grading Deputy Inspector to implement his supervisory control.

AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS LISTED ABOVE. NECESSARY TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION, AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME _____
(OWNER OR AUTHORIZED AGENT OF THE OWNER)

SIGNATURE _____ DATE _____
(OWNER OR AUTHORIZED AGENT OF THE OWNER)

- Subdrains shall be laid under all fills placed in natural watercourses. Subdrain shall be placed along the watercourse flow line and along the flowline of any branches tributary thereto. Additional subdrain shall be installed to collect any active or potential springs or seeps which will be covered by the fill. Subdrains shall be installed after the watercourse has been excavated to firm materials in preparation for receiving the fill. Individual design shall be shown on each plan for City approval, based on the recommendations of the soils engineer and geologist to the satisfaction of the Department.



Perforated subdrain conduits shall be either transite or corrugated galvanized iron hot-dipped in asphalt, or approved PVC, asphalt, or approved PVC.

Such conduits shall be 6" min. Diameter for runs of 500' or less and 8" min. Dia. For over 500'. Fabric may be used to wrap around the gravel packed provided it is recommended by a soils engineer.

Surface drainage shall not be permitted to discharge into a subdrain.

- Temporary erosion control shall be installed between October 1st and April 15th. (Department of Public Work's approval is required.)
- Grading which involves removal of lateral support of public ways required Department of Public Works approval.

Inspections of Excavation and Fills. The permittee or his agent shall notify the Grading Inspector when the grading operation is ready for each of the following inspection:

- Initial Inspection: When the permittee is ready to begin work, but before grading or brushing is started.
- Toe Inspection: After the natural ground is exposed and prepared to receive fill, but before any fill is placed.
- Excavation Inspection: After the excavation is started, but before the vertical depth of the excavation exceeds ten feet.
- Fill Inspection: After the fill emplacement is started, but before the vertical height of the fill exceeds ten feet.
- Drainage Device Inspection: After forms and pipe are in place, but before any concrete is placed.
- Rough Grading: When all rough grading has been completed. This inspection may be called for at the completion of the rough grading without the necessity of the Department having previously reviewed and approved the reports.
- Final: When all work, including installation of all drainage structures and other protective devices, has been completed and the as-graded plan and required reports have been submitted.

Special (Continuous) Inspection: Continuous inspection by a registered deputy grading inspector shall be provided for the following conditions:

- A continuous grading area exceeding 60,000 square feet.
- An excavated or filled slope steeper than two horizontal to one vertical.
- An excavated slope exceeding 40 feet in height and the top of which is within 20 feet of a property line coterminous with improved private property or a public way.
- Foundation excavations below a one horizontal to one vertical plane inward and down from the property line.
- Special cases where the work, in the opinion of the building official, involves unusual hazards or conditions. For example, oil shoring, underpinning, and stop cutting work requires the presence of a deputy grading inspector.

Issuance of Certificate. If, upon final inspection of any excavation or fill, it is found that the work authorized by the grading permit has been satisfactorily completed in accordance with requirements of this Code, Grading Certificate covering such work shall be issued to the owner by the Superintendent of Building. Upon the owner's request, a separate certificate will be issued for each lot for which building permits have been issued or applied for prior to the completion of the work.

ADDITIONAL NOTES:

- Grading general requirements (B-164) shall be attached to and made a part of the plans.
- Existing non-conforming slopes shall be cut back at 2:1 (26°) or retained.
- No trenches or excavations 5 feet or more in depth into which a person is required to descend, or obtain necessary permit from the State of California Division of Industrial Safety prior to the issuance of a building or grading permit.
- All concentrated drainage including roof water shall be conducted to the street in an approved device at 2% minimum.
- All cut and fill slopes shall be no steeper than 2:1 (26°).
- All retaining walls shall be provided with a standard surface backdrain system and all drainage shall be conducted to an approved location in an acceptable manner and in a non-erosive device.
- Footing adjacent to a descending slope steeper than 3:1 in gradient shall be located a distance of one-third the vertical height of the slope with a minimum of 5 feet but need not exceed 40 feet measured horizontally from the face of the fill slope.
- All footings shall be founded into natural undisturbed soils as per code, or approved fill.
- All fill or backfill shall be compacted to a minimum of 90% relative compaction as determined by A.S.T.M. Method D-1557. Subdrains shall be provided where required by code. Cohesionless soils with less than 15% finer than .005 mm requires 95% compaction.
- The soils engineer is to approve the key or bottom and leave a certificate on the site for the grading inspector. The grading inspector is to be notified before any grading begins, and for bottom inspection, before any fill is placed. Fill may not be placed without approval of the grading inspector.
- Stake and flag the property lines in accordance with a licensed survey map.
- NOTE ON PLANS:
 - "General Specifications for all Grading Plans" - Building and Safety form B-164 is a part of the plans.
 - All graded slopes shall be planted and sprinklered.
 - Standard 12-inch high berm is required at top of all graded slopes.
 - No fill to be placed until the City grading inspector has inspected and approved the bottom excavation.
 - Building and Safety letter dated _____ and referenced reports are a part of these plans (attach a copy to the plans).
 - City Planning letter dated _____ is a part of these plans (attach a copy to the plans).
- This plan has been reviewed and conforms to recommendations of Soils Engineering by SOILS PACIFIC Reports dated JAN-22-2018 Signature and date _____ This plan has been reviewed and conforms to recommendations of Geological Reports by dated JAN-22-2018 Signature and date _____ SOILS PACIFIC
- Comply with provisions of Section 91.1804.4 for expansive soil conditions.
- Temporary erosion control to be installed between October 1 and April 15. Obtain Grading Inspector's and Department of Public Works approval of proposed procedures.

- Registered Deputy Grading Inspector is required on grading and foundation earthwork where (site exceeds 60,000 s.f.) (cut of fill slopes exceeds 2:1) (cuts exceed 40 ft. in height and within 20 ft. of a property line) (foundation excavation below a 1:1 plane from property line) (projects involve unusual hazards)
- A Registered deputy grading inspector is required on all shoring work including slot-cuts.
- Man-made fill shall be compacted to a minimum relative compaction of 90% max dry density within 40 feet below finish grade and 93% of max. dry density deeper than 40 feet below finish grade, unless a lower relative compaction (not less than 90% of max. dry density) is justified by the soils engineer.
- Retaining walls located closer to the property line than the height of the wall shall be backfilled not later than 10 days after construction of the wall and necessary structural supporting members unless recommended otherwise by responsible engineer.

ATTACHMENT B NOTES

THE FOLLOWING BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, THE CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICES HANDBOOK, JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY PROJECT ENGINEER OR THE BUILDING OFFICIAL)

EROSION CONTROL

- EC1- SCHEDULING
- EC2- PRESERVATION OF EXISTING VEGETATION
- EC3- HYDRAULIC MULCH
- EC4- HYDROSEEDING
- EC5- SOIL BINDER
- EC6- STRAW MULCH
- EC7- GEOTEXTILES & MATS
- EC8- WOOD MULCHING
- EC9- EARTH DIKES AND DRAINAGE SWALES
- EC10-VELOCITY DISSIPATION DEVICES
- EC11-SLOPE DRAINS
- EC12-STREAMBANK STABILIZATION
- EC13-POLYACRYLAMIDE

TEMPORARY SEDIMENT CONTROL

- SE1- SILT FENCE
- SE2- SEDIMENT BASIN
- SE3- SEDIMENT TRAP
- SE4- CHECK DAM
- SE5- FIBER ROLLS
- SE6- GRAVEL BAG BERM
- SE7- STREET SWEEPING AND VACUUMING
- SE8- SANDBAG BARRIER
- SE9- STRAW BALE BARRIER
- SE10-STORM DRAIN INLET PROTECTION

EQUIPMENT TRACKING CONTROL

- TC1- STABILIZED CONSTRUCTION ENTRANCE EXIT
- TC2- STABILIZED CONSTRUCTION ROADWAY
- TC3- ENTRANCE/OUTLET TIRE WASH

WIND EROSION CONTROL

- WE1- WIND EROSION CONTROL

NON-STORMWATER MANAGEMENT

- NS1- WATER CONSERVATION PRACTICES
- NS2- DEWATERING OPERATIONS
- NS3- PAVING AND GRINDING OPERATIONS
- NS4- TEMPORARY STREAM CROSSING
- NS5- CLEAR WATER DIVERSION
- NS6- ILLICIT CONNECTION/DISCHARGE
- NS7- POTABLE WATER/IRRIGATION
- NS8- VEHICLE AND EQUIPMENT CLEANING
- NS9- VEHICLE AND EQUIPMENT FUELING
- NS10-VEHICLE AND EQUIPMENT MAINTENANCE
- NS11-PILE DRIVING OPERATIONS
- NS12-CONCRETE CURING
- NS13-CONCRETE FINISHING
- NS14-MATERIAL AND EQUIPMENT USE
- NS15-DEMOLITION ADJACENT TO WATER
- NS16-TEMPORARY BATCH PLANTS

WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL

- WM1- MATERIAL DELIVERY AND STORAGE
- WM2- MATERIAL USE
- WM3- STOCKPILE MANAGEMENT
- WM4- SPILL PREVENTION AND CONTROL
- WM5- SOLID WASTE MANAGEMENT
- WM6- HAZARDOUS WASTE MANAGEMENT
- WM7- CONTAMINATION SOIL MANAGEMENT
- WM8- CONCRETE WASTE MANAGEMENT
- WM9- SANITARY/SEPTIC WASTE MANAGEMENT
- WM10-LIQUID WASTE MANAGEMENT

STORM WATER POLLUTION CONTROL

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 - Part 5: Definitions)

- Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
- Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
- Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
- Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.
- Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
- Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
- Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

LEGAL DESCRIPTION

LOTS 23 & 24, BLOCK 53 OF TOWN SITE OF LONG BEACH TRACT, RECORDED IN BOOK 19, PAGES 91 TO 96 OF MISCELLANEOUS RECORDS OF THE LOS ANGELES COUNTY RECORDS.

OWNERS

VISTA MESA INVESTMENT GROUP, LLC.
1158 LAS PULGAS ROAD
PACIFIC PALISADES, CA
TEL: (310) 925-2525
E-MAIL: MESALLCS@OUTLOOK.COM
CONTACT: MOHSEN GHANE

CIVIL

GREYSTONE ENGINEERING GROUP INC.
9023 W. PICO BLVD.
LOS ANGELES, CA 90035
TEL: 310-405-2341
CONTACT: SOHEIL MOEINI

GEOTECHNICAL

SOILS PACIFIC
675 NORTH ECKHOFF STREET SUITE #A
ORANGE, CA 92668
TEL: 714-879-1203
CONTACT: YONNES KABIR

SURVEYOR

H.J. BURKE, INC.
ADD: 830 S. DURANGO DR, # 100, LAS VEGAS, NEVADA 89145
TEL: 310-633-1213, 702-452-8753
FAX: 702-562-9876
EMAIL: INFO@HJBURKE.COM
CONTACT:HOOSHMAND JAHANPOUR-BURKE
LS 8230



EARTHWORK QUANTITIES REMOVAL AND RECOMPACTION = 778 CU. YDS.

CUT: 444 CU. YDS. FILL: 0 CU. YDS.

EXPORT: 444 CU. YDS. IMPORT: 0 CU. YDS.

DISPOSAL SITE G.P.# * SOURCE G.P.#

*CONTRACTOR TO VERIFY AND NOTIFY CITY INSPECTOR 10 DAYS PRIOR TO EXPORTING MATERIALS.

CONTRACTORS NOTE:

THE EARTHWORK QUANTITIES ARE PROVIDED AS A COURTESY AND CONVENIENCE TO THE OWNERS, AND ARE FOR BONDING AND PLAN CHECK PURPOSES ONLY. THE YARDAGE FIGURES SHOWN ARE APPROXIMATE CALCULATED QUANTITIES BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND ELEVATIONS AND DESIGNED GRADE ELEVATIONS. THE CALCULATIONS MAKE NO PROVISIONS FOR STRIPPING, SHRINKAGE, BULKING OR ANY OTHER CONDITION NOT IMPLIED. FOR THIS REASON, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT THE PROJECTS SOILS ENGINEER AND GEOLOGIC INVESTIGATIONS, AND TO DETERMINE FOR HIMSELF, THE QUANTITIES OF EARTH MOVING THAT WILL BE REQUIRED TO COMPLETE THIS PROJECT.

Attachment "A"

Job Address 425 E. 5TH ST LONG BEACH, CA 90802

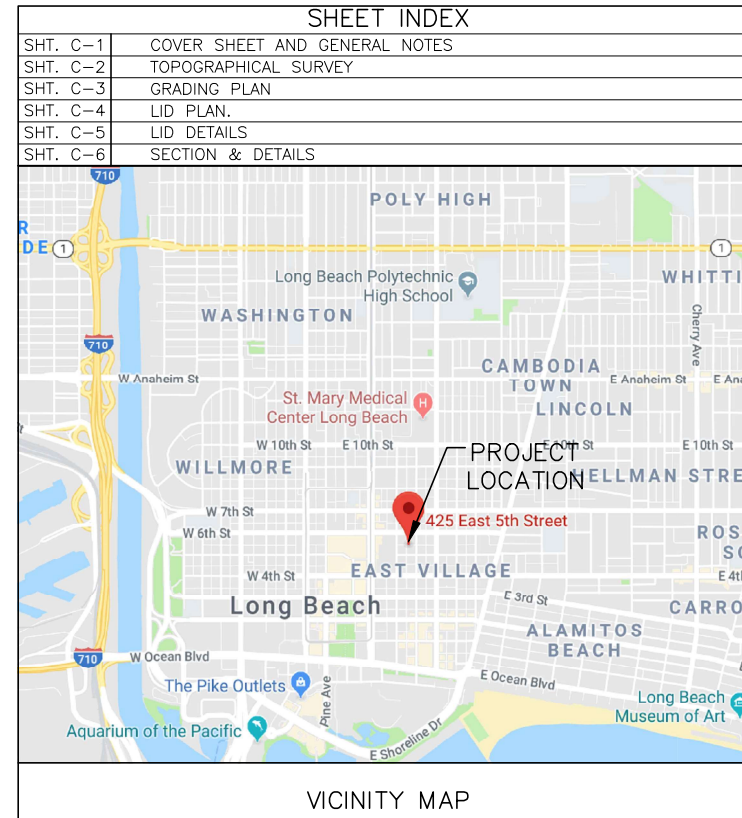
Permit# _____

Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Construction
Projects/Certification Statement

THE FOLLOWING NOTES SHALL BE EITHER INCORPORATED OR ATTACHED TO THE APPROVED CONSTRUCTION/GRADING PLANS AND REPRESENT THE MINIMUM STANDARDS OF GOOD HOUSEKEEPING WHICH MUST BE IMPLEMENTED ON ALL CONSTRUCTION PROJECTS.

CONSTRUCTION MEANS CONSTRUCTING, CLEARING, GRADING OR EXCAVATION THAT RESULTS IN SOIL DISTURBANCE. CONSTRUCTION INCLUDES STRUCTURE TEARDOWN. IT DOES NOT INCLUDE ROUTINE MAINTENANCE ORIGINAL LINE AND GRADE, HYDRAULIC CAPACITY, OR ORIGINAL PURPOSE OF FACILITY; EMERGENCY CONSTRUCTION ACTIVITIES REQUIRED TO IMMEDIATELY PROTECT PUBLIC HEALTH AND SAFETY; INTERIOR REMODELING WITH NO OUTSIDE EXPOSURE OF CONSTRUCTION MATERIAL OR CONSTRUCTION WASTE TO STORM WATER; MECHANICAL PERMIT WORK; OR SIGN PERMIT WORK. -NPDES PERMIT PART 5 "DEFINITIONS"

- ERODED SEDIMENTS AND POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED TOXIC STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- NON-STORM WATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE APPROPRIATELY DISPOSED OF OR RECYCLED.
- TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.
- RETENTION BASINS OF SUFFICIENT SIZE SHALL BE PROVIDED TO RETAIN STORM WATER RUNOFF ON-SITE AND SHALL BE PROPERLY LOCATED TO COLLECT ALL TRIBUTARY SITE RUNOFF.
- WHERE RETENTION OF STORM WATER RUNOFF ON-SITE IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, RUNOFF MAY BE CONVEYED TO THE STREET AND THE STORM DRAIN SYSTEM PROVIDED THAT AN APPROVED FILTERING SYSTEM IS INSTALLED AND MAINTAINED ON-SITE DURING THE CONSTRUCTION DURATION.



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PACIFIC PALISADES, CA

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9023 W. PICO BLVD. LOS ANGELES, CA 90035
(310) 405-2341 EMAIL: INFO@GREYSTONEENGINE.COM

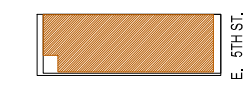
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COVER SHEET &
NOTES

ISSUE DATE: 05.07.2018

C-1

LEGEND

- PROPERTY LINE
- LOT LINE
- CENTERLINE
- FENCE LINE
- DL --- OVERHEAD UTILITY LINE
- WALL
- EXISTING BUILDING
- FINISHED SURFACE
- FINISHED FLOOR
- FLOWLINE
- DIRT
- TOP OF CURB
- ELECTRIC VAULT/PULL BOX
- ELECTRIC MANHOLE
- FIRE HYDRANT
- FOUND OR SET MONUMENT AS NOTED
- GUY ANCHOR OR POLE
- UTILITY POLE
- AREA LIGHT
- 9" DIAMETER VENT
- GUARD POST
- SIGN
- MAIL BOX
- METER BOX
- SANITARY SEWER MANHOLE
- GAS METER
- WATER METER
- WATER VALVE
- STREET LIGHT
- STREET LIGHT PULL BOX
- TREE



209 S. MARKET ST.
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3 2 3 . 5 5 3 . 2 3 7 6

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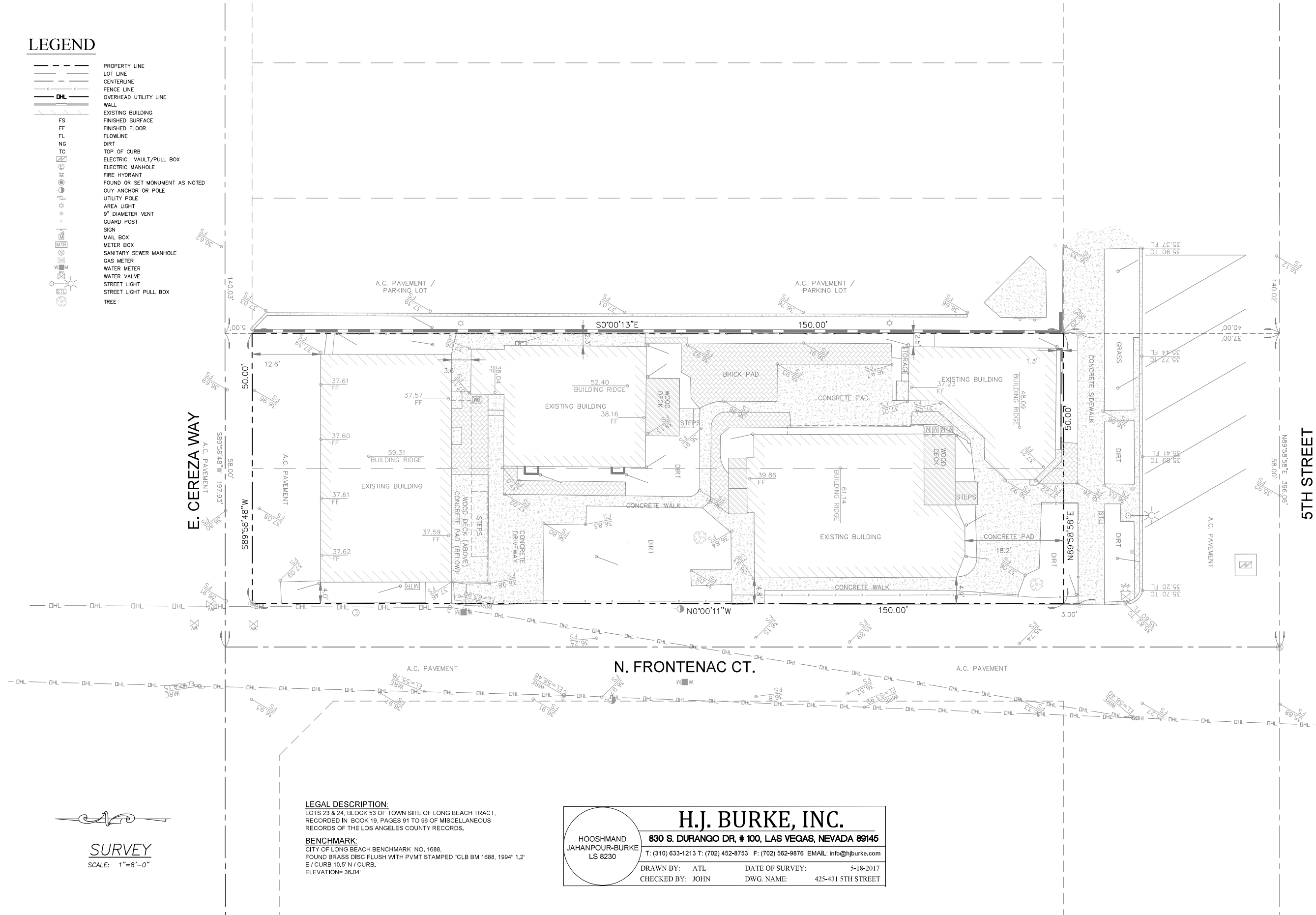
NO.	ISSUES / REVISIONS	DATE



SURVEY

ISSUE DATE: 05.07.2018

C-2



LEGAL DESCRIPTION:
LOTS 23 & 24, BLOCK 53 OF TOWN SITE OF LONG BEACH TRACT,
RECORDED IN BOOK 19, PAGES 91 TO 96 OF MISCELLANEOUS
RECORDS OF THE LOS ANGELES COUNTY RECORDS.

BENCHMARK:
CITY OF LONG BEACH BENCHMARK NO. 1688.
FOUND BRASS DISC FLUSH WITH PVMT STAMPED "CLB BM 1688, 1994" 1.2"
E / CURB 10.5' N / CURB.
ELEVATION= 36.04'

H.J. BURKE, INC.

830 S. DURANGO DR, # 100, LAS VEGAS, NEVADA 89145

T: (310) 633-1213 T: (702) 452-8753 F: (702) 562-9876 EMAIL: info@hjburke.com

HOOSHMAND
JAHANPOUR-BURKE
LS 8230

DRAWN BY: ATL DATE OF SURVEY: 5-18-2017
CHECKED BY: JOHN DWG. NAME: 425-431 5TH STREET

SURVEY
SCALE: 1"=8'-0"



209 S. MARKET ST.
INGLEWOOD, CA. 90301
323.553.2376

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CLIENT INFO:
MSTA MESA INVESTMENT GROUP, LLC.
1158 LAS PULGAS ROAD
PACIFIC PALISADES, CA

CONSULTANT LOGO:
GREYSTONE
ENGINEERING GROUP, INC.
9021 W. PICO BLVD. LOS ANGELES, CA 90035
(310) 454-2341 EMAIL: INFO@GREYSTONEENR.COM

E. 5TH ST.
APARTMENTS
425 E. 5TH ST.
LONG BEACH, CA 90802
PROJECT # 17010

05.07.18
PLAN CHECK
SUBMITTAL

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CONSTRUCTION

NO. ISSUES / REVISIONS DATE

NO.	ISSUES / REVISIONS	DATE



LID PLAN

ISSUE DATE: 05.07.2018

C-4

LEGEND

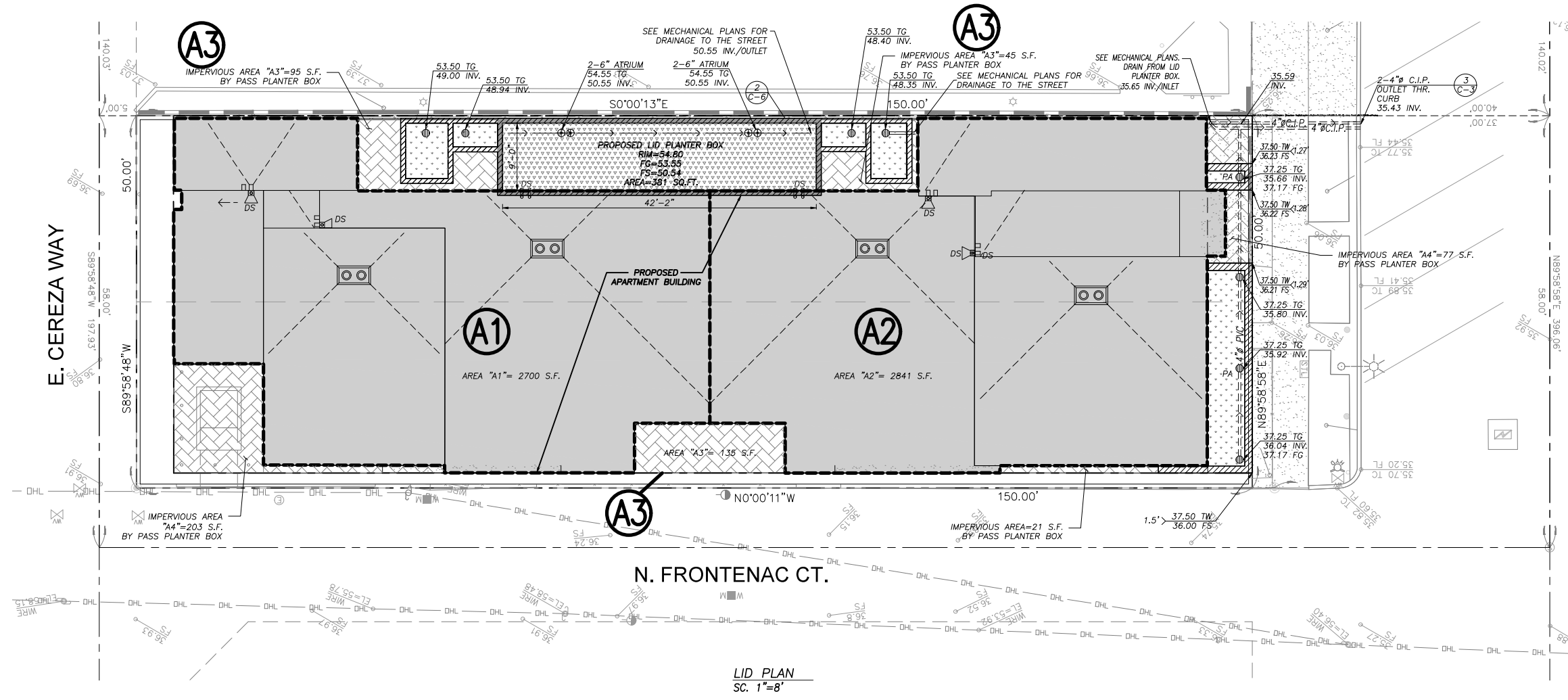
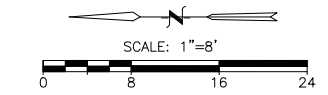
- (A1)** SUBAREA DESIGNATION
- SUBAREA BOUNDARY
- [Hatched Box] INDICATES IMPERVIOUS AREA
- [Dotted Box] INDICATES PLANTER BOX
- [Stippled Box] INDICATES PLANTER AREA
- [Cross-hatched Box] INDICATES IMPERVIOUS AREA

LEGEND

- C CENTER LINE
- CO CLEANOUT
- DG DECOMPOSED GRANITE
- DG DAYLIGHT LINE
- DN DOWN
- DS DOWNSPOUT
- FF FINISH FLOOR
- FP FIRE PLACE
- FG FINISH GRADE
- FL FLOW LINE
- FP FIRE PLACE
- FS FINISH SURFACE
- HP HIGH POINT
- INV INVERT
- PA PLANTER AREA
- P PROPERTY LINE
- NG NATURAL GRADE
- TC TOP OF CURB
- TD TOP OF DECK
- TG TOP OF GRATE
- TW TOP OF WALL
- UNO UNLESS NOTED OTHERWISE
- RETAINING WALL
- BLOCK WALL
- CONTRACTOR TO VERIFY HARD SURFACE THICKNESS PER ARCHITECTURAL SPECIFICATIONS AND DETAILS TO DETERMINE ROUGH GRADE ELEVATIONS.
- 12" SQ. CATCH BASIN PER NDS PLASTIC PRODUCTS PART NO. 1200-1204, U.N.O.
- 6" SPEE-D BASIN PER NDS, PLASTIC PRODUCTS PART NO. 101, 201, 300, U.N.O.
- INDICATES 4" PERF. SUBDRAIN
- 185.5 TC EXISTING SPOT ELEVATIONS



DETAIL NO. 1
SCALE: NTS
STENCIL TO BE PAINTED NEAR CATCH BASINS THAT DRAIN INTO PLANTER BOXES



E. CEREZA WAY

N. FRONTENAC CT.

E. 5TH ST.

PLANTER BOX:

A1	ROOF AREA	2700 S.F
A2	ROOF AREA	2841 S.F
A3	BALCONY AND COURT AREA	275 S.F
A4	GENERATOR & FRONT SLAB AREA	300 S.F
TOTAL	TOTAL AREA	6116 S.F
REQUIRED PLANTER BOX AREA:		318 S.F
PROVIDED PLANTER BOX AREA:		381 S.F

LID Design Rainfall Depth:
 Project Site 85th Percentile 24-hr Rainfall: in.
 (Check at: <http://ladpw.org/wrd/hydrologyvis/>)
Design Rainfall Depth: in.
 (85th Percentile Rainfall or 3/4", whichever is greater)

Areas draining to BMP

Red values to be changed by user.
 Black values are automatically calculated.

Drainage Area	Total Area	Impervious Area	% IMP
	sqft	sqft	%
DA-1	6116	6116	100%
DA-2			
DA-3&4			
DA-4			
DA-5			
DA-6			
DA-7			
DA-8			
DA-9			
DA-10			
TOTAL	6116	6116	

Planter Box#1 Sizing

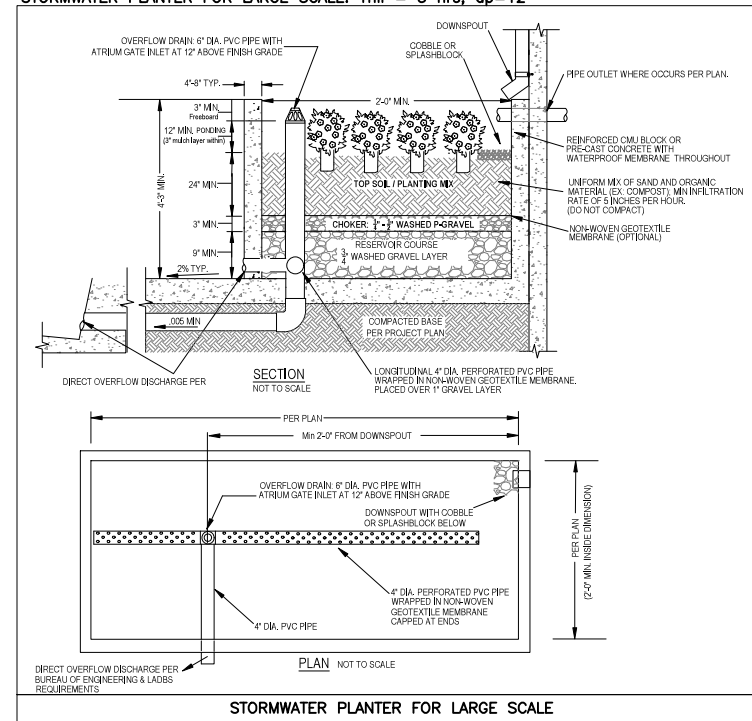
Note: Red values to be changed by user.
 Black values are automatically calculated.

[1] Total Area (SF)	6116
[2] Impervious Area (SF)	6116
[3] Pervious Area (SF)	0
[4] Catchment Area (SF)	5904
[5] Design Rainfall Depth (in)	0.75
[6] $V_{design} (CF)$	516
[7] $K_{sat,media} (in/hr)$	5.0
[8] FS	2.0
[9] $K_{sat,design} (in/hr)$	2.5
[10] $d_{p,max} Max. Ponding Depth (ft)$	1.0
[11] $d_p Ponding Depth (ft)$	1.0
[12] $T_{fill} (hr)$	3
[13] $A_{min} (sq. ft)$	318

$[1]-[2] =$
 $[4]-[3] =$
 $[6] > 0.75", 85th percentile$
 $[6] > 1.5 * [5] / 12 * [4] =$
 $[7] / [8] =$
 $[1] * [9] * 48 / 12 =$
 $1' max.$
 $[1] * [12] / 12 + [11]$

Source: LID Handbook, City of LA (May 2012)

STORMWATER PLANTER FOR LARGE SCALE: Tfill = 3 hrs, dp=12"



- NOTES:**
- AT LEAST 15 INCHES SHALL BE PROVIDED BETWEEN THE PLANTING SURFACE AND THE CREST OF EACH PLANTER.
 - PLANTERS SHALL NOT BE LOCATED ON UNEVEN OR SLOPED SURFACES.
 - TOP SOIL/PLANTING MIX IS AT LEAST 2" DEEP.
 - TOP SOIL CONTAINS NO MORE THAN 30% COMPOST.
 - MINIMUM GRAVEL LAYER SHALL BE 12" DEEP.
 - DIRECT OVERFLOW DISCHARGE PER BUREAU OF ENGINEERING AND BUILDING AND SAFETY REQUIREMENTS.
 - PLANTINGS REQUIRED. CONSULT LANDSCAPE ARCHITECT FOR SPECIFIC PLANT TYPES.

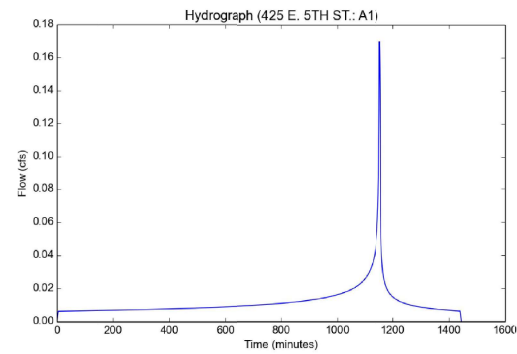
DETAIL NO. 2
 SCALE: NTS

Peak Flow Hydrologic Analysis

File location: C:\Users\Greystone Eng 3\Documents\Dropbox (Greystone Eng)\Greystone Engineering\Mesa LLC\425 E. 5th St. Long Beach\LID Calculations\HydroCalc 1.0.2

Input Parameters	
Project Name	425 E. 5TH ST.
Subarea ID	A1
Area (ac)	0.062
Flow Path Length (ft)	80.0
Flow Path Slope (vft/hft)	0.01
50-yr Rainfall Depth (in)	5.1
Percent Impervious	1.0
Soil Type	14
Design Storm Frequency	50-yr
Fire Factor	0
LID	False

Output Results	
Modeled (50-yr) Rainfall Depth (in)	5.1
Peak Intensity (in/hr)	3.0428
Undeveloped Runoff Coefficient (Cu)	0.7435
Developed Runoff Coefficient (Cd)	0.9
Time of Concentration (min)	5.0
Clear Peak Flow Rate (cfs)	0.1698
Burned Peak Flow Rate (cfs)	0.1698
24-Hr Clear Runoff Volume (ac-ft)	0.0235
24-Hr Clear Runoff Volume (cu-ft)	1024.4883

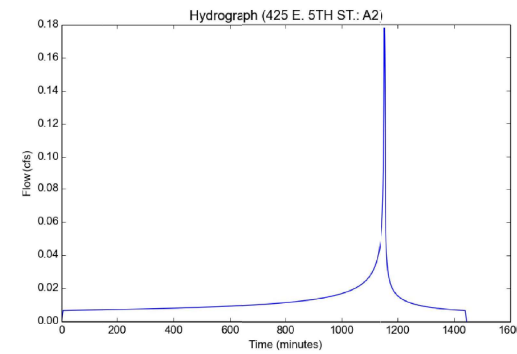


Peak Flow Hydrologic Analysis

File location: C:\Users\Greystone Eng 3\Documents\Dropbox (Greystone Eng)\Greystone Engineering\Mesa LLC\425 E. 5th St. Long Beach\LID Calculations\HydroCalc 1.0.2

Input Parameters	
Project Name	425 E. 5TH ST.
Subarea ID	A2
Area (ac)	0.065
Flow Path Length (ft)	80.0
Flow Path Slope (vft/hft)	0.01
50-yr Rainfall Depth (in)	5.1
Percent Impervious	1.0
Soil Type	14
Design Storm Frequency	50-yr
Fire Factor	0
LID	False

Output Results	
Modeled (50-yr) Rainfall Depth (in)	5.1
Peak Intensity (in/hr)	3.0428
Undeveloped Runoff Coefficient (Cu)	0.7435
Developed Runoff Coefficient (Cd)	0.9
Time of Concentration (min)	5.0
Clear Peak Flow Rate (cfs)	0.178
Burned Peak Flow Rate (cfs)	0.178
24-Hr Clear Runoff Volume (ac-ft)	0.0247
24-Hr Clear Runoff Volume (cu-ft)	1074.0603

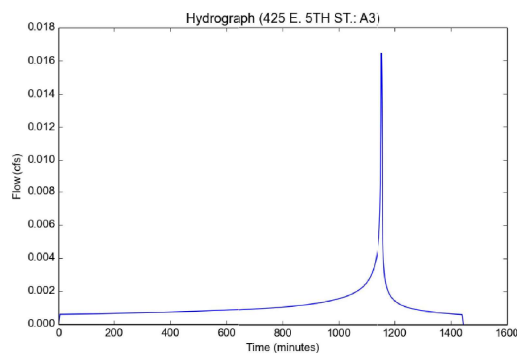


Peak Flow Hydrologic Analysis

File location: C:\Users\Greystone Eng 3\Documents\Dropbox (Greystone Eng)\Greystone Engineering\Mesa LLC\425 E. 5th St. Long Beach\LID Calculations\HydroCalc 1.0.2

Input Parameters	
Project Name	425 E. 5TH ST.
Subarea ID	A3
Area (ac)	0.006
Flow Path Length (ft)	60.0
Flow Path Slope (vft/hft)	0.01
50-yr Rainfall Depth (in)	5.1
Percent Impervious	1.0
Soil Type	14
Design Storm Frequency	50-yr
Fire Factor	0
LID	False

Output Results	
Modeled (50-yr) Rainfall Depth (in)	5.1
Peak Intensity (in/hr)	3.0428
Undeveloped Runoff Coefficient (Cu)	0.7435
Developed Runoff Coefficient (Cd)	0.9
Time of Concentration (min)	5.0
Clear Peak Flow Rate (cfs)	0.0164
Burned Peak Flow Rate (cfs)	0.0164
24-Hr Clear Runoff Volume (ac-ft)	0.0023
24-Hr Clear Runoff Volume (cu-ft)	99.144



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 (310) 465-2341 EMAIL: INFO@GREYSTONEENGINE.COM

E. 5TH ST. APARTMENTS
 425 E. 5TH ST.
 LONG BEACH, CA 90802
 PROJECT # 17010

05.07.18
 PLAN CHECK
 SUBMITTAL

STAMP:
 NOT FOR CONSTRUCTION

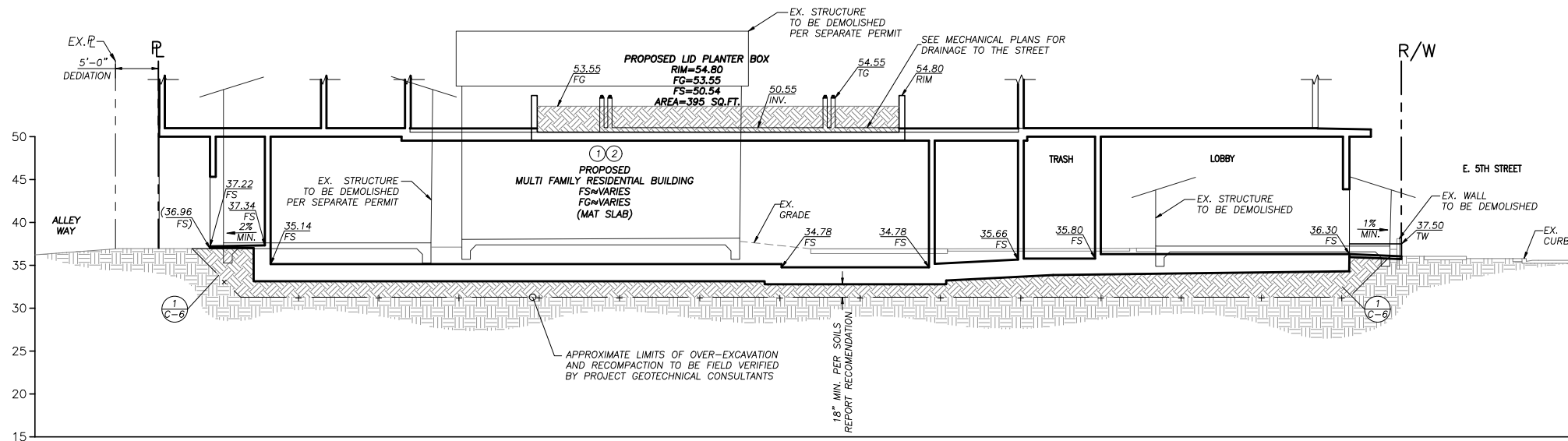
NO.	ISSUES / REVISIONS	DATE



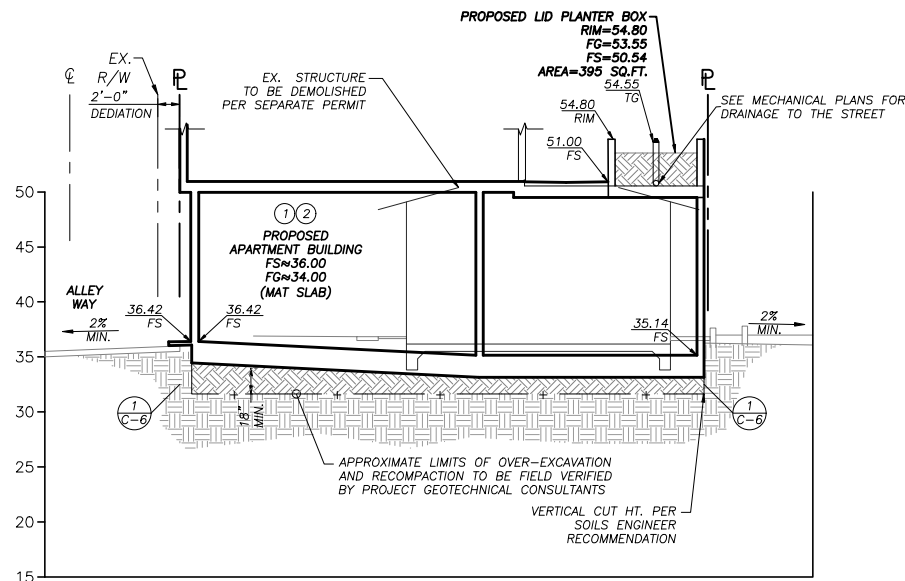
LID
 DETAILS

ISSUE DATE: 05.07.2018

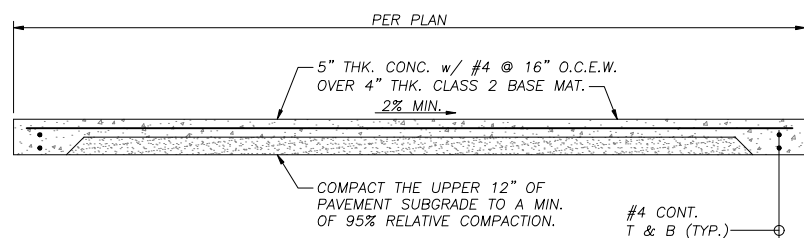
C-5



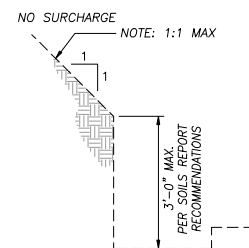
SECTION 1
SC. 1"=8'



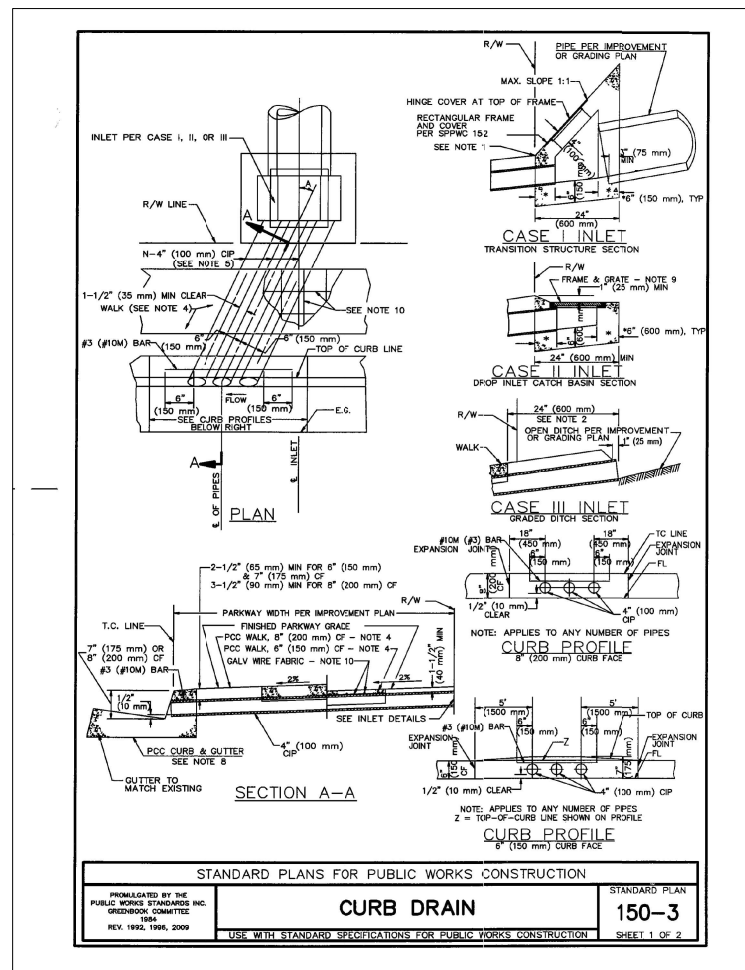
SECTION 2
SC. 1"=8'



DETAIL NO. 2 CONCRETE DRIVEWAY
N.T.S.



DETAIL 1. TEMP. EXCAVATION
N.T.S.



DETAIL NO. 3 CURB OUTLET
N.T.S.

- LEGEND**
- C CENTER LINE
 - CO CLEANOUT
 - DG DECOMPOSED GRANITE
 - D DAYLIGHT LINE
 - DN DOWN
 - DS DOWNSPOUT
 - FF FINISH FLOOR
 - FP FIRE PLACE
 - FG FINISH GRADE
 - FL FLOW LINE
 - FP FIRE PLACE
 - FS FINISH SURFACE
 - HP HIGH POINT
 - INV INVERT
 - PA PLANTER AREA
 - PL PROPERTY LINE
 - NG NATURAL GRADE
 - TC TOP OF CURB
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 - BLOCK WALL
 - CONTRACTOR TO VERIFY HARD SURFACE THICKNESS PER ARCHITECTURAL SPECIFICATIONS AND DETAILS TO DETERMINE ROUGH GRADE ELEVATIONS.
 - 12" SQ. CATCH BASIN PER NDS PLASTIC PRODUCTS PART NO. 1200-1204, U.N.O.
 - 6" SPEC-D BASIN PER NDS PLASTIC PRODUCTS PART NO. 101, 201, 300, U.N.O.
 - INDICATES 4" PER SUBDRAIN
 - EXISTING SPOT ELEVATIONS



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3 2 3 . 5 5 3 . 2 3 7 6

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(310) 404-2344 EMAIL: INFO@GREYSTONEENGINEERING.COM

E. 5TH STS
APARTMENTS
425 E. 5TH ST
LONG BEACH, CA 90802
PROJECT # 170010

05.07.18
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NO.	ISSUES / REVISIONS	DATE



SECTIONS &
DETAILS

ISSUE DATE: 05.07.2018

C-6

WET WEATHER EROSION CONTROL PLAN (WWCEP)
GENERAL NOTES:

ADDITIONAL GENERAL NOTES

TEMPORARY EROSION CONTROL MEASURES EFFECTIVE DURING RAINY SEASON

OCTOBER 1 TO APRIL 15

- IN CASE OF EMERGENCY, CALL MOHSEN GHANE AT 310-925-2525
- A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS EMINENT.
- EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THERE ARE NO LONGER REQUIRED.
- GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
- ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
- A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR Dewatering OPERATIONS.
- THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
- DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN OCTOBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NONSTORM WATER FROM THE PROJECT SITES AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTED ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOIL WASTE.
- DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 40% CHANGE OF 0.25 INCHES OR GREATER OF PREDICTED PERCIPITATION, AND AFTER ACTUAL PERCIPITATION. A CONSTRUCTION SITE INSPECTION CHECK LIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUREAU OF PUBLIC WORKS. COPIES OF THE SELF-INSPECTION CHECK LIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST.
- TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTERING ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITION MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- AS THE PROJECT ARCHITECT/ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMPs TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPs MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THE BMPs SHOWN ON THIS PLAN WILL BE FULLY IMPLEMENTED, AND ALL EROSION CONTROL DEVICES WILL BE KEPT CLEAN AND FUNCTIONING. PERIODIC INSPECTIONS OF THE BMPs WILL BE CONDUCTED AND A CURRENT LOG, SPECIFYING THE EXACT NATURE OF THE INSPECTION AND ANY REMEDIAL MEASURES, WILL BE KEPT AT THE CONSTRUCTION SITE AT ALL TIMES AND WILL BE AVAILABLE FOR THE REVIEW OF THE BUILDING OFFICIAL.

CIVIL ENGINEERS/ARCHITECTS SIGNATURE DATE

OWNER OR AUTHORIZED AGENT OF THE OWNER DATE

DATE

DATE

DATE

DATE

DATE

DATE

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- TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE WWCEP WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES TO MAINTAIN GRADED CONDITIONS.
- ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
- WHEN DIRECTED BY THE INSPECTOR, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.
- PROVIDE VELOCITY CHECK DAMS ACROSS THE OUTLET OF ALL LOTS DRAINING INTO THE STREET.
- ALL FILLS SHALL BE GRADED TO PROMOTE DRAINAGE AWAY FROM THE EDGES OF THE FILL.
- ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS FROM THE BOTTOM TO TOP WITH A DOUBLE ROW OF SANDBAGS PRIOR TO BACKFILL. STORAGE AND SEWER TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS EXTENDING UPWARD, TO WITHIN TWO SANDBAGS FROM THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH ALTERNATE HEADER AND STRETCHER COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAG BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT TO EXCEED THE FOLLOWING:

GRADE OF STREET	INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET

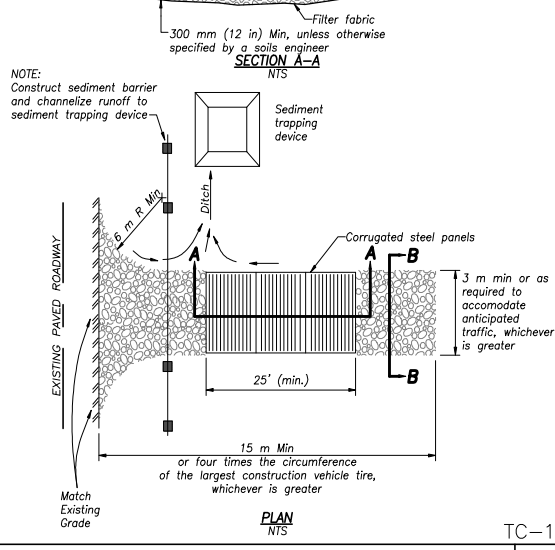
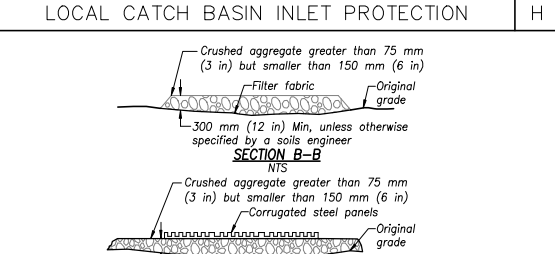
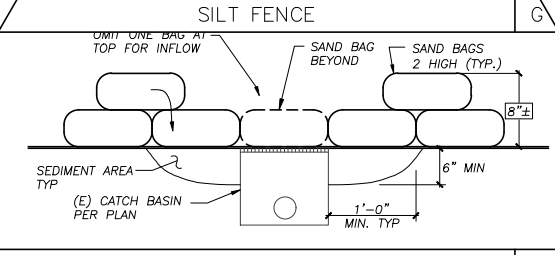
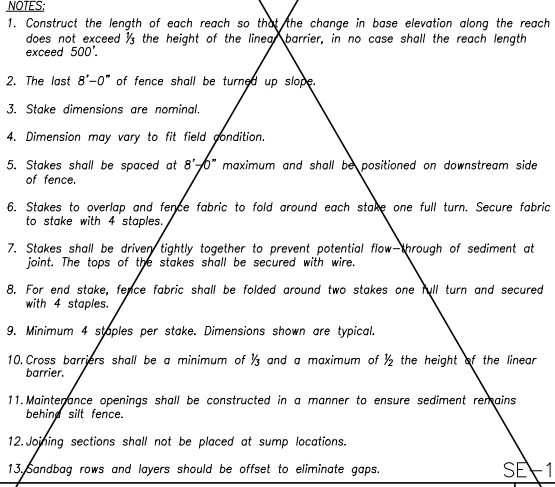
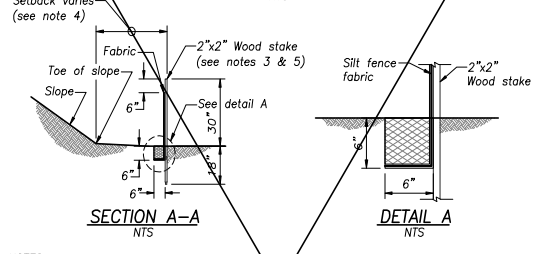
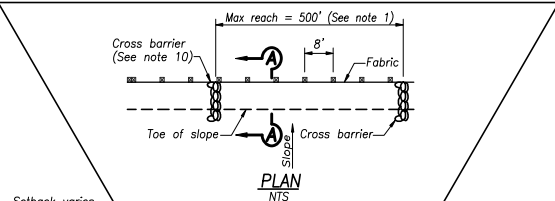
GRADE OF CHANNEL	INTERVALS BETWEEN CHECK DAMS
LESS THAN 3%	100 FEET
3% TO 6%	50 FEET
OVER 6%	25 FEET

- STANDARD "VELOCITY CHECK DAMS" AT ALL UNPAVED STREET AREAS AT THE INTERVALS INDICATED IN PARAGRAPH 6 ABOVE. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF SANDBAGS, TIMBER, OR OTHER EROSION RESISTANT MATERIAL APPROVED BY THE INSPECTOR AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. EARTH DAMS MAY NOT BE USED AS "VELOCITY CHECK DAMS".
- PROVIDE STANDARD "VELOCITY CHECK DAMS" IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW.
- THE STANDARD "VELOCITY CHECK DAM" SHALL HAVE A MINIMUM HEIGHT OF 12-INCHES. VELOCITY CHECK DAMS ACROSS OUTLETS OF ALL LOTS SHALL HAVE A MINIMUM HEIGHT OF 18-INCHES. VELOCITY CHECK DAMS CONSTRUCTED WITH SANDBAGS THAT ARE 18-INCHES HIGH SHALL BE BUILT WITH A DOUBLE ROW.
- AFTER SEWER AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACE COVER SUCH TRENCHES SHALL BE MOUNDING SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHEN TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET.
- EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN MUST BE IN PLACE AT THE END OF EACH WORKING DAY. THE FORECAST OF RAIN PROBABILITY EXCEED 40% AND MAINTAINED DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15).
- AFTER EACH STORM, ALL "DESILTING BASINS" AND "VELOCITY CHECK DAMS" SHALL BE PUMPED DRY AND REMOVED OF ALL DEBRIS AND SILT WITHIN 24 HOURS AND RESTORED TO THEIR ORIGINAL CAPACITY.
- EROSION CONTROL DEVICES SHALL BE STOCKPILED IN PARKWAYS AT INTERVALS SHOWN ON THE WWCEP. READY TO BE PLACED IN POSITION WHEN RAIN IS FORECASTED OR WHEN DIRECTED BY THE INSPECTOR.
- ALL CUT AND FILL SLOPES GREATER THAN 1 VERTICAL TO 3 HORIZONTAL SHALL BE COVERED WITH 10 MIL PLASTIC SHEETING HELD IN PLACE WITH SANDBAGS (UNLESS PLANTED OR HYDRO-SEEDED).
- BRUSH AND VEGETATIVE GROUND COVER MAY NOT BE REMOVED MORE THAN 10 FEET ABOVE FILLS DURING THE RAINY SEASON WHICH OCCURS BETWEEN OCTOBER 1 AND APRIL 15.

JOB ADDRESS:
OWNER: VISTA MESA INVESTMENT GROUP, LLC.
1158 LAS PULGAS ROAD
PACIFIC PALISADES, CA
ADDRESS: TEL: (310) 925-2525
PHONE: E-MAIL: MESALLOS@OUTLOOK.COM
24 HR. EMERGENCY CONTACT: MOHSEN GHANE
ADDRESS: PHONE: CONTACT: MOHSEN GHANE

FOR DESILTING BASINS:

- ALL "DESILTING BASINS" BUILT ON LOTS ADJACENT TO DWELLINGS MUST BE COMPLETELY LINED WITH AC-2 OR GUNITE.
- SIZES OF "DESILTING BASINS" AND "WEIRS" SHALL BE SHOWN ON THE PLANS AND HAVE THE CAPACITY TO SERVICE THE AFFECTED WATERSHED.
- ALL SPILLWAYS FROM BASINS SHALL BE PAVED TO EXISTING PAVED STREETS, EXISTING STORM DRAIN CATCH BASINS OR OTHER APPROVED WATERCOURSES.
- RETENTION OR DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERATIVE WITHOUT PRIOR APPROVAL OF THE PUBLIC WORKS ENGINEER UNTIL ALL SURFACE IMPROVEMENTS HAVE BEEN COMPLETED.
- SEWER OR STORM DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHALL BE PLUGGED WITH SANDBAGS FROM TOP OF PIPE TO TOP OF DIKE. SEWER LINES SHALL FIRST BE ENCASED IN CONCRETE BEFORE SANDBAGS ARE PLACED.
- "DESILTING" AND "RETENTION" BASINS SHALL BE CONSTRUCTED AS FOLLOWS:
(A) OUTLET AND APRON - (AS DESCRIBED ON BMP ESC56, "TEMPORARY SEDIMENT BASIN").
(B) DIKES:
1. SHALL BE COMPACTED TO 95% COMPACTION AND SHALL BE CONSTRUCTED UNDER THE DIRECT SUPERVISION OF THE PUBLIC WORKS EROSION CONTROL INSPECTOR.
2. THE PLACEMENT OF SPILLWAYS AND OUTLET PIPES SHALL BE AS FAR AS PRACTICABLE FROM INLETS.
3. BASIN WALLS SHALL NOT EXCEED 2:1 SLOPE.
(C) INLET TO BASINS:
1. WALLS SHALL BE PAVED WITH AC-3 OR CONSTRUCTED SANDBAG BERMS WHEN APPROVED BY THE PUBLIC WORKS EROSION CONTROL INSPECTOR.
2. SLOPE OF INLETS SHALL BE EQUAL TO OR MORE THAN THE SLOPE OF THE CARRYING SURFACE IMMEDIATELY ABOVE THE INLET TO AVOID "SILTING UP" OF THE INLETS.
(D) IF A GRAVITY PIPE IS IMPRACTICABLE, A STAND-BY PUMP SHALL BE PROVIDED FOR EACH DESILTING BASIN. A GUARD IS TO BE ON CONTINUOUS DUTY WHILE THE BASIN CONTAINS WATER.
(E) DESILTING BASINS REQUIRED FOR TEMPORARY EROSION CONTROL SHALL NOT BE PERMITTED IN THE STREET AREAS UNLESS SPECIFICALLY AUTHORIZED BY THE PUBLIC WORKS ENGINEER.
- A "STANDBY EMERGENCY CREW" SHALL BE ALERTED BY THE DEVELOPER OR CONTRACTOR TO PERFORM EMERGENCY WORK DURING RAINSTORMS. THE PARTY TO BE CONTACTED IS:
NAME: _____
TELEPHONE: () - -



Dust Control Practices

Dust control BMPs generally stabilize exposed surfaces and minimize activities that suspend or track dust particles. The following table presents dust control practices that can be applied to varying site conditions that could potentially cause dust. For heavily traveled and disturbed areas, wet suppression (watering), gravel asphalt surfacing, temporary gravel construction entrances, equipment wash-out areas, and haul truck covers can be employed as dust control applications. Permanent or temporary vegetation and mulching can be employed for areas of occasional or no construction traffic. Preventive measures include minimizing surface areas to be disturbed, limiting onsite vehicle traffic to 15 mph or less, and controlling the number and activity of vehicles on a site at any given time.

Site Condition	Permanent Vegetation	Mulching	Wet Suppression (Watering)	Gravel or Asphalt	Temporary Gravel Construction Entrances/Equipment Wash Areas	Synthetic Covers	Minimize Extent of Disturbed Area
Disturbed Areas Not Subject to Traffic	X	X	X	X			X
Disturbed Areas Subject to Traffic		X	X	X	X	X	X
Watering Stockpiles		X	X		X	X	X
Cleaning/Excavating/Trucking on Unpaved Roads			X	X	X	X	X

Additional Preventive Measures include:

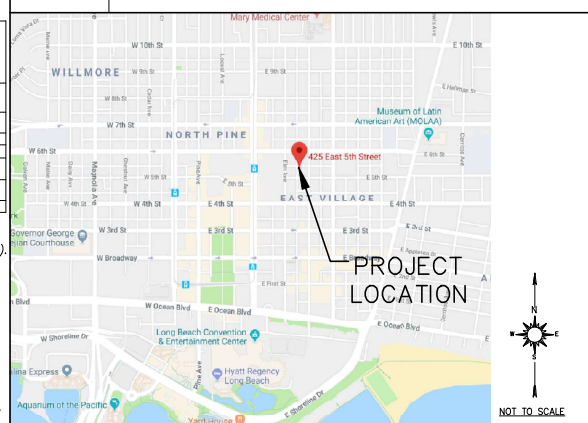
- Schedule construction activities to minimize exposed area (see CASQA BMP EC-1, Scheduling).
- Quickly treat exposed soils using water, mulching, or stone/gravel layering.
- Identify and stabilize key access points prior to commencement of construction.
- Minimize the impact of dust by stabilizing the direction of prevailing winds.
- Restrict construction traffic to stabilized roadways within the project site, as practicable.
- Water should be applied by means of pressure-type distributors or pipelines equipped with a spray system or hoses and nozzles that will ensure even distribution.
- All distribution equipment should be equipped with a positive means of shutoff.
- Unless water is applied by means of pipelines, at least one mobile unit should be available at all times to apply water or dust palliative to the project.
- If reclaimed waste water is used, the sources and discharge must meet California Department of Health Services water reclamation criteria and the Regional Water Quality Control Board (RWQCB) requirements. Non-potable water should not be conveyed in tanks or drain pipes that will be used to convey potable water and there should be no connection between potable and non-potable supplies. Non-potable tanks, pipes, and other conveyances should be marked, "NON-POTABLE WATER - DO NOT DRINK!!"
- Pave access points where unpaved traffic surfaces adjoin paved roads.
- Provide covers for haul trucks transporting materials that contribute to dust.
- Provide for rapid clean up of sediments deposited on paved roads. Furnish stabilized construction road entrances and wheel wash areas.
- Stabilize inactive areas of construction sites using temporary vegetation.

Inspection & Maintenance

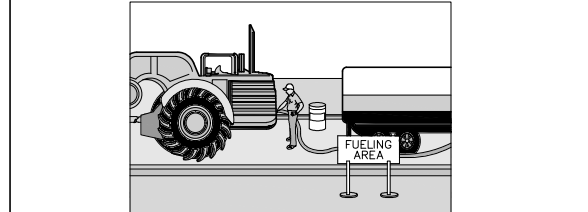
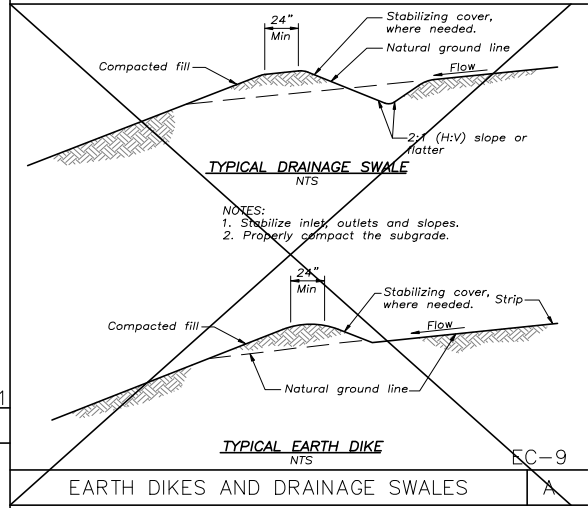
- Inspect and verify that activity-based BMPs are in place prior to the commencement of associated activities.
- BMPs must be inspected in accordance with General Permit requirements for the associated project type and risk level. It is recommended that at a minimum, BMPs be inspected weekly, prior to forecasted rain events, daily during extended rain events, and after the conclusion of rain events.
- Check areas protected to ensure coverage.
- Most water-based dust control measures require frequent application, often daily or even multiple times per day.

INDEX OF SHEETS

EC-1	EROSION CONTROL COVER SHEET
EC-2	EROSION CONTROL PLAN
EC-3	EROSION CONTROL ATTACHMENTS (2018-2019)



VICINITY MAP



IMPLEMENTATION

- Use offsite fueling stations as much as possible. These businesses are better equipped to handle fuel and spills properly. Performing this work offsite can also be economical by eliminating the need for a separate fueling area at a site.
- Discourage "topping-off" of fuel tanks.
- Absorbent spill cleanup materials and spill kits should be available in fueling areas and on fueling trucks, and should be disposed of properly after use.
- Drip pans or absorbent pads should be used during vehicle and equipment fueling, unless the fueling is performed over an impermeable surface in a dedicated fueling area.
- Use absorbent materials on small spills. Do not hose down or bury the spill. Remove the absorbent materials promptly and dispose of properly.
- Avoid mobile fueling of mobile construction equipment around the site; rather, transport the equipment to designated fueling areas. With the exception of tracked equipment such as bulldozers and large excavators, most vehicles should be able to travel to a designated area with little loss time.
- Train employees and subcontractors in proper fueling and cleanup procedures.
- When fueling must take place onsite, designate an area away from drainage courses to be used. Fueling areas should be identified in the SWPPP.
- Dedicated fueling areas should be protected from stormwater runoff and runoff, and should be located at least 50 feet away from downstream drainage facilities and watercourses. Fueling must be performed on a level-grade area.
- Protect fueling areas with berms and dikes to prevent runoff, runoff, and to contain spills.
- Nozzles used in vehicle and equipment fueling should be equipped with an automatic shutoff to control drips. Fueling operations should not be left unattended.
- Use vapor recovery nozzles to help control drips as well as air pollution where required by Air Quality Management Districts (AQMD).
- Federal, state, and local requirements should be observed for any stationary above ground storage tanks.

Inspection & Maintenance

- Inspect BMPs in accordance with General Permit requirements for the associated project type and risk level. It is recommended that at a minimum, BMPs be inspected weekly, prior to forecasted rain events, daily during extended rain events, and after the conclusion of rain events.
- Vehicles and equipment should be inspected each day of use for leaks. Leaks should be repaired immediately or problem vehicles or equipment should be removed from the project site.
- Keep ample supplies of spill cleanup materials onsite.
- Immediately clean up spills and properly dispose of contaminated soil and cleanup materials.



209 S. MARKET ST.
INGLEWOOD, CA. 90307
3 2 3 . 5 5 3 . 3 0 3 6

CLIENT INFO:
VISTA MESA INVESTMENT GROUP, LLC.
1158 LAS PULGAS ROAD
PACIFIC PALISADES, CA

CONSULTANT LOGO:
E. 5 T H S T .
A P A R T M E N T S
4 2 5 E . 5 T H S T .
L O N G B E A C H , C A 9 0 8 0 2
P R O J E C T # 1 7 0 1 0

05.07.18
PLAN CHECK
SUBMITTAL

NOT FOR CONSTRUCTION

NO. ISSUES / REVISIONS DATE

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- ASPHALT AND BITUMINOUS PRODUCTS
- PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS FROM ASPHALT AND BITUMINOUS OPERATIONS, BY PREVENTING RUN-ON AND RUN-OFF DURING THE OPERATION, PROPERLY DISPOSING OF WASTES, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.
- AVOID PRIME OR TACK COATING DURING WET WEATHER.
 - STORE MATERIALS AWAY FROM DRAINAGE COURSES TO PREVENT MATERIAL FROM ENTERING THE RUN-OFF.
 - COVER CATCH BASINS AND MANHOLES WHEN APPLYING SEAL COAT, TACK COAT, SLURRY SEAL, FOG SEAL, ETC.
 - MAKE SURE SAND OR GRAVEL PLACED OVER NEW ASPHALT DOESN'T WASH INTO STORM DRAINS, STREETS, OR CREEKS.
 - DISPOSE OF OLD ASPHALT PROPERLY. COLLECT AND REMOVE ALL BROKEN ASPHALT FROM THE SITE AND RECYCLE WHENEVER POSSIBLE. DO NOT DISPOSE OF ASPHALT PRODUCTS INTO WATERWAYS.
 - FOLLOW THE STORM WATER PERMITTING REQUIREMENTS FOR INDUSTRIAL ACTIVITIES IF PAVING INVOLVES AN ON-SITE MIXING PLANT.

TC-1 STABILIZED CONSTRUCTION ENTRANCE EXIT
TC-2 STABILIZED CONSTRUCTION ROADWAY
TC-3 ENTRANCE/OUTLET TIRE WASH

TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
TC-2 STABILIZED CONSTRUCTION ROADWAY
TC-3 ENTRANCE/OUTLET TIRE WASH

TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
TC-2 STABILIZED CONSTRUCTION ROADWAY
TC-3 ENTRANCE/OUTLET TIRE WASH

WM-8 CONCRETE WASTE MANAGEMENT

NS-9 VEHICLE/EQUIPMENT FUELING



209 S. MARKET ST.
INGLEWOOD, CA. 90301
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MSTA MESA INVESTMENT GROUP, LLC.
1158 LAS PULGAS ROAD
PACIFIC PALISADES, CA

CONSULTANT LOGO:
GREYSTONE
ENGINEERING GROUP, INC.
9023 W. PICO BLVD. LOS ANGELES, CA 90035
(310) 465-2341 EMAIL: INFO@GREYSTONEENGINEING.COM

E. 5TH ST. APARTMENTS
425 E. 5TH ST.
LONG BEACH, CA 90802
PROJECT # 17010

05.07.18
PLAN CHECK
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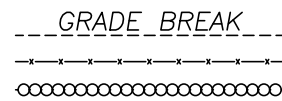
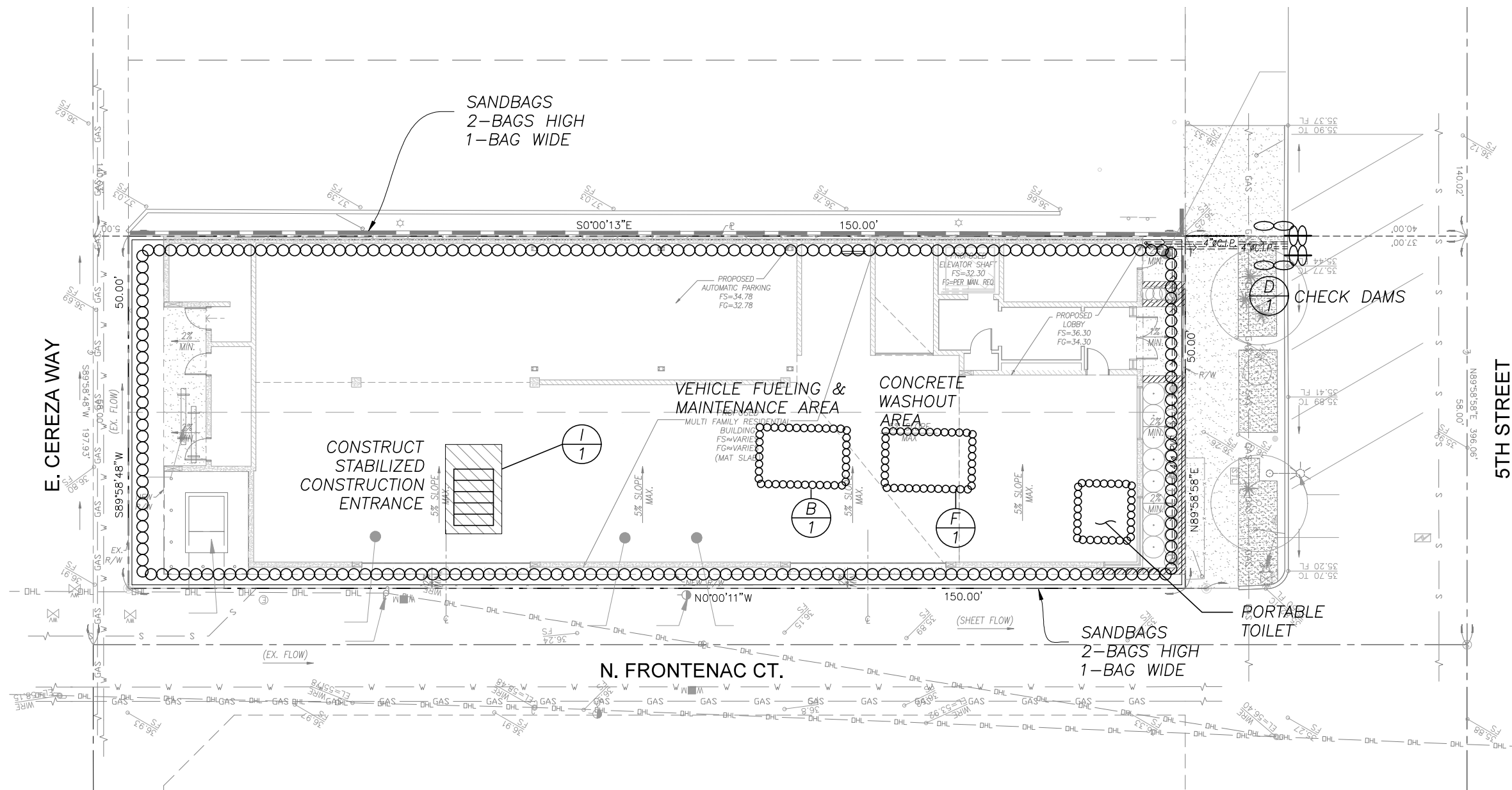
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





EROSION CONTROL PLAN

ISSUE DATE: 05.07.2018

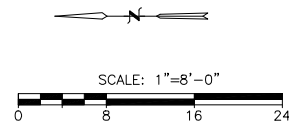
EC-2



-  VEHICLE FUELING & MAINTENANCE AREA
-  CHECK DAMS
-  CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE
-  CONCRETE WASHOUT AREA
-  SILT FENCE

NOTES:

1. ALL GRADED AND DISTURBED AREAS TO BE JUTTE NETTED OR PER EC3, EC4, EC7 & WE1, AS SOON AS GRADING IS COMPLETE.
2. CONTRACTOR TO REVIEW ALL BMP'S AND PROJECT ENGINEER AS SITE REQUIRES DURING ALL PHASES OF CONSTRUCTION.
3. AREAS BEYOND THE LIMITS OF GRADING AS SHOWN HEREON SHALL BE LEFT UNDISTURBED UNTIL LANDSCAPING IS TO BE DONE. NO STRIPPING OF THE EARTH OUTSIDE THE LIMITS OF GRADING UNTIL LANDSCAPING IS TO BE DONE.
4. ALL SEDIMENT TRAPS TO BE CLEANED AFTER EACH STORM DURING ALL PHASES OF CONSTRUCTION.
5. PROVIDE 4-MILL VISQUEEN OVER ALL DISTURBED VERTICAL EXCAVATIONS AND SLOPE AREAS.



SWPPP BMP SELECTION

Table 3.2 Temporary Erosion Control BMPs

CASQA Fact Sheet	BMP Name	Meets a Minimum Requirement ⁽¹⁾	BMP Used		If not used, state reason
			YES	NO	
FC-1	Scheduling				
FC-2	Preservation of Existing Vegetation				
FC-3	Hydraulic Mulch				
EC-4	Hydroseed				
EC-5	Soil Binders				
EC-6	Straw Mulch				
EC-7	Geotextiles and Mats				
EC-8	Wood Mulching				
EC-9	Earth Dike and Drainage Swales				
EC-10	Velocity Dissipation Devices				
EC-11	Slope Drains				
EC-12	Stream Bank Stabilization				
FC-14	Compost Blankets				
EC-15	Soil Preparation-Roughening				
EC-16	Non-Vegetated Stabilization				
WI-1	Wind Erosion Control				
Alternate BMPs Used:					If used, state reason:

⁽¹⁾ Applicability to a specific project shall be determined by the QSD.
⁽²⁾ The QSD shall ensure implementation of one of the minimum measures listed or a combination thereof to achieve and maintain the Risk Level requirements.
⁽³⁾ Run-on from offsite shall be directed away from all disturbed areas, diversion of offsite flows may require design/analysis by a licensed civil engineer and/or additional environmental permitting.

Table 3.3 Temporary Sediment Control BMPs

CASQA Fact Sheet	BMP Name	Meets a Minimum Requirement ⁽¹⁾	BMP used		If not used, state reason
			YES	NO	
SE-1	Silt Fence				
SE-2	Sediment Basin				
SE-3	Sediment Trap				
SE-4	Check Dams				
SE-5	Fiber Rolls				
SE-6	Gravel Bag Berm				
SE-7	Street Sweeping				
SE-8	Sandbag Barrier				
SE-9	Straw Bale Barrier				
SE-10	Storm Drain Inlet Protection				
SE-11	ATS				
SE-12	Temporary Silt Dike				
SE-13	Compost Sock and Berm				
SE-14	Biofilter Bags				
TC-1	Stabilized Construction Entrance and Exit				
TC-2	Stabilized Construction Roadway				
TC-3	Entrance Outlet Tire Wash				
Alternate BMPs Used:					If used, state reason:

⁽¹⁾ Applicability to a specific project shall be determined by the QSD.
⁽²⁾ The QSD shall ensure implementation of one of the minimum measures listed or a combination thereof to achieve and maintain the Risk Level requirements.
⁽³⁾ Risk Level 2 & 3 shall provide linear sediment control along toe of slope, face of slope, and at the grade breaks of exposed slope.

Table 3.4 Temporary Non-Stormwater BMPs

CASQA Fact Sheet	BMP Name	Meets a Minimum Requirement ⁽¹⁾	BMP used		If not used, state reason
			YES	NO	
NS-1	Water Conservation Practices				
NS-2	Dewatering Operation				
NS-3	Paving and Grinding Operation				
NS-4	Temporary Stream Crossing				
NS-5	Clear Water Diversion				
NS-6	Illicit Connection-Illegal Discharge Connection				
NS-7	Portable Water Irrigation Discharge Detection				
NS-8	Vehicle and Equipment Cleaning				
NS-9	Vehicle and Equipment Fueling				
NS-10	Vehicle and Equipment Maintenance				
NS-11	Pile Driving Operation				
NS-12	Concrete Curing				
NS-13	Concrete Finishing				
NS-14	Material and Equipment Use Over Water				
NS-15	Demolition Removal Adjacent to Water				
NS-16	Temporary Batch Plants				
Alternate BMPs Used:					If used, state reason:

⁽¹⁾ Applicability to a specific project shall be determined by the QSD.

JOB ADDRESS: 425 E. 5TH ST. LONG BEACH PERMIT #: _____

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM

PRIORITY PROJECTS

CERTIFICATION STATEMENT

AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THE APPROXIMATE BMP'S WILL BE IMPLEMENTED IS EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT CONTRACTOR IS AWARE THAT THE SELECTED BMP'S MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS, THE BMP'S NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.

COMPLETED FORM TO BE ATTACHED TO THE LOCAL STORM WATER POLLUTION PREVENTION PLAN.

PRINT NAME: _____
 (OWNER OR AUTHORIZED AGENT OF THE OWNER)

SIGNATURE: _____ DATE: _____
 (OWNER OR AUTHORIZED AGENT OF THE OWNER)

JOB ADDRESS: 425 E. 5TH ST. LONG BEACH PERMIT #: _____

DEPARTMENT OF BUILDING AND SAFETY

MINIMUM REQUIREMENTS FOR CONSTRUCTION PROJECTS/ CERTIFICATION STATEMENT

THE FOLLOWING IS INTENDED AS AN ATTACHMENT TO THE CONSTRUCTION/GRADING PLANS AND REPRESENT THE MINIMUM STANDARDS OF GOOD HOUSEKEEPING WHICH MUST BE IMPLEMENTED ON ALL SITES CLASSIFIED AS DEVELOPMENT CONSTRUCTION PROJECTS.

DEVELOPMENT CONSTRUCTION PROJECTS ARE DEFINED AS PROJECTS WHERE THERE IS LESS THAN TWO ACRES OF DISTURBED SOIL, NOT LOCATED IN DESIGNATED HILLSIDE AREAS, AND NOT ON OR ADJACENT TO AN ENVIRONMENTAL SENSITIVE AREA. NOTE: A PROJECT IN A DESIGNATED HILLSIDE AREA WITH LESS THAN TWO ACRES OF DISTURBED SOIL AND NOT IN OR ADJACENT TO AN ENVIRONMENTAL SENSITIVE AREA, MAY BE CLASSIFIED AS A DEVELOPMENT CONSTRUCTION PROJECT IF THE GRADING PRE-INSPECTION (GPI) IS NOT REQUIRED OR THE ENTIRE LOT HAS A SLOPE OF TEN PERCENT OR LESS.

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ONSITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ONSITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

Table 3.5 Temporary Materials Management BMPs

CASQA Fact Sheet	BMP Name	Meets a Minimum Requirement ⁽¹⁾	BMP used		If not used, state reason
			YES	NO	
WM-01	Material Delivery and Storage				
WM-02	Material Use				
WM-03	Stockpile Management				
WM-04	Spill Prevention and Control				
WM-05	Solid Waste Management				
WM-06	Hazardous Waste Management				
WM-07	Contaminated Soil Management				
WM-08	Concrete Waste Management				
WM-09	Sanitary-Septic Waste Management				
WM-10	Liquid Waste Management				
Alternate BMPs Used:					If used, state reason:

⁽¹⁾ Applicability to a specific project shall be determined by the QSD.

INSPECTION LOG

THE SITE SHALL BE INSPECTED BEFORE STORM EVENTS WITH PREDICTED PROBABILITY OF 50% OR GREATER AND EVERY DAY DURING AND WITHIN 48 AFTER STORM EVENTS WITH 0.50 INCHES OR GREATER OF ACTUAL PRECIPITATION, AND DOCUMENTED ON THE CONSTRUCTION SITE INSPECTION CHECKLIST. INCIDENTS OF NON-COMPLIANCE MUST BE REPORTED TO THE ENGINEER.

Date and Time of Inspection:		Date Report Written:	
Inspection Type: (Circle one)	Weekly Complete Parts I, II, III, IV, and V	Pre-Storm Complete Parts I, II, III, IV, and V	During Rain Event Complete Parts I, II, III, IV, and V
Part I. General Information			
Construction Site Name:			
Construction stage and completed activities:		Approximate area of site that is exposed:	
Photos Taken: (Circle one)	Yes	No	Photo Reference ID:
Weather			
Estimate storm beginning: (date and time)		Estimate storm duration: (hours)	
Estimate time since last storm: (days or hours)		Rain gauge reading and location: (ft)	
Is a "Qualifying Event" predicted or did one occur (i.e., 0.5" rain with 48-hrs or greater between events)? (Y/N) If yes, summarize forecast:			
Exemption Documentation (explanation required if inspection could not be conducted). Visual inspections are not required outside of business hours or during dangerous weather conditions such as flooding or electrical storms.			
Inspector Information			
Inspector Name:		Inspector Title:	
Signature:		Date:	

Part II. BMP Observations. Describe deficiencies in Part III.			
Minimum BMPs for Risk Level _____ Sites	Failures or other short comings (yes, no, N/A)	Action Required (yes/no)	Action Implemented (Date)
Good Housekeeping for Construction Materials			
Inventory of products (excluding materials designed to be erodible)			
Stockpiled construction materials not actively in use are covered and bermed			
All chemicals are stored in watertight containers with appropriate secondary containment, or in a completely enclosed storage shed			
Construction materials are minimally exposed to precipitation			
BMPs preventing the off-site tracking of materials are implemented and properly effective			
Good Housekeeping for Waste Management			
Wash/rinse water and materials are prevented from being disposed into the storm drain system			
Portable toilets are contained to prevent discharges of waste			
Sanitation facilities are clean and with no apparent for leaks and spills			
Equipment is in place to cover waste disposal containers at the end of business day and during rain events			
Discharges from waste disposal containers are prevented from discharging to the storm drain system / receiving water			
Stockpiled waste material is securely protected from wind and rain if not actively in use			
Procedures are in place for addressing hazardous and non-hazardous spills			
Appropriate spill response personnel are assigned and trained			
Equipment and materials for cleanup of spills is available onsite			
Washout areas (e.g., concrete) are contained appropriately to prevent discharge or infiltration into the underlying soil			
Good Housekeeping for Vehicle Storage and Maintenance			
Measures are in place to prevent oil, grease, or fuel from leaking into the ground, storm drains, or surface waters			
All equipment or vehicles are fueled, maintained, and stored in a designated area with separate BMPs			
Vehicle and equipment leaks are cleaned immediately and disposed of properly			

Minimum BMPs for Risk Level _____ Sites	Adequately designed, implemented and effective (yes, no, N/A)	Action Required (yes/no)	Action Implemented (Date)
Good Housekeeping for Landscape Materials			
Stockpiled landscape materials such as mulches and topsoil are contained and covered when not actively in use			
Erodible landscape material has not been applied 2 days before a forecasted rain event or during an event			
Erodible landscape materials are applied at quantities and rates in accordance with manufacturer recommendations			
Bagged erodible landscape materials are stored on pallets and covered			
Good Housekeeping for Air Deposition of Site Materials			
Good housekeeping measures are implemented onsite to control the air deposition of site materials and from site operations			
Non-Stormwater Management			
Non-Stormwater discharges are properly controlled			
Vehicles are washed in a manner to prevent non-stormwater discharges to surface waters or drainage systems			
Streets are cleaned in a manner to prevent unauthorized non-stormwater discharges to surface waters or drainage systems			
Erosion Controls			
Wind erosion controls are effectively implemented			
Effective soil cover is provided for disturbed areas inactive (i.e., not scheduled to be disturbed for 14 days) as well as finished slopes, open spaces, utility basins, and completed pits			
The use of plastic materials is limited in cases when a more sustainable, environmentally friendly alternative exists.			
Sediment Controls			
Perimeter controls are established and effective at controlling erosion and sediment discharges from the site			
Entrances and exits are established to control erosion and sediment discharges from the site			
Sediment basins are properly maintained			
Linear sediment control along toe of slope, face of slope and at grade breaks (Risk Level 2 & 3 Only)			
Limit construction activity to and from site to entrances and exits that employ effective controls to prevent offsite tracking (Risk Level 2 & 3 Only)			

Ensure all storm, drain inlets and perimeter controls, runoff control BMPs and pollutants controls at entrances and exits are maintained and protected from activities that reduce their effectiveness. (Risk Level 2 & 3 Only)			
Inspect all immediate access roads daily (Risk Level 2 & 3 Only)			
Run-On and Run-Off Controls			
Run-on to the site is effectively managed and directed away from all disturbed areas.			
Other			
Are the project SWPPP and BMP plan up to date, available on site and being properly implemented?			

Part III. Descriptions of BMP Deficiencies		
Deficiency	Repairs Implemented: Note - Repairs must begin within 72 hours of identification and, complete repairs as soon as possible.	
	Start Date	Action
1.		
2.		
3.		
4.		

Part IV. Additional Pre-Storm Observations. Note the presence or absence of floating and suspended materials, sheen, discoloration, turbidity, odors, and source(s) of pollutant(s).		Yes, No, N/A
Do stormwater storage and containment areas have adequate freeboard? If no, complete Part III.		
Are drainage areas free of spills, leaks, or uncontrolled pollutant sources? If no, complete Part VII and describe below.		
Notes:		

Are stormwater storage and containment areas free of leaks? If no, complete Parts III and/or VII and describe below.	
Notes:	

Part V. Additional During Storm Observations. If BMPs cannot be inspected during inclement weather, list the results of visual inspections at all relevant outfalls, discharge points, and downstream locations. Note odors or visible sheen on the surface of discharges. Complete Part VII (Corrective Actions) as needed.	
Outfall, Discharge Point, or Other Downstream Location	Description
Location	Description
Location	Description
Location	Description
Location	Description
Location	Description
Location	Description
Location	Description

Part VI. Additional Post-Storm Observations. Visually observe (inspect) stormwater discharges at all discharge locations within two business days (48 hours) after each qualifying rain event, and observe (inspect) the discharge or stored or contained stormwater that is derived from and discharged subsequent to a qualifying rain event producing precipitation of 1/8 inch or more at the time of discharge. Complete Part VII (Corrective Actions) as needed.	
Discharge Location, Storage or Containment Area	Visual Observation

Part VII. Additional Corrective Actions Required. Identify additional corrective actions not included with BMP Deficiencies (Part III) above. Note if SWPPP change is required.	
Required Actions	Implementation Date



209 S. MARKET ST.
 INGLEWOOD, CA. 90301
 323.553.2376

ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. COPIES OF DRAWINGS AND SPECIFICATIONS REMAINED BY THE CLIENT MAY BE USED ONLY FOR THE USE AND FOR THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR THE CONSTRUCTION OF ANY OTHER PROJECTS. ANY REUSE OR REPRODUCTION OF THE DRAWINGS IN WHOLE OR IN PART BY ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF AERO COLLECTIVE IS STRICTLY PROHIBITED.

CLIENT INFO:
 MSTA MESA INVESTMENT GROUP, LLC.
 1158 LAS PULGAS ROAD
 PACIFIC PALISADES, CA

CONSULTANT LOGO:

E. 5TH ST.
 APARTMENTS
 425 E. 5TH ST.
 LONG BEACH, CA 90802
 PROJECT # 17010

05.07.18
 PLAN CHECK
 SUBMITTAL

STAMP:

NOT FOR
 CONSTRUCTION

NO. ISSUES / REVISIONS DATE



EROSION
 CONTROL
 ATTACHMENTS
 ISSUE DATE: 05.07.2018

EC-3

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	Street tree	per City req.	-	2		-

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
✱	Aeonium a. 'Kiwi'		5-gal	4		low 0.3
●	Aeonium a. 'Tip Top'		5-gal	5		low 0.3
▼	Aloe striata		5-gal	6		low 0.3
⊙	Chondropetalum t. 'El Campo'	Cape Rush	5-gal	7		low 0.3
⊙	Cordylina a. 'Red Star'		5-gal	2		low 0.3
⊙	Dasyliiron wheeleri	Desert Spoon	5-gal	1		low 0.3
⊙	Carex oshimensis 'Evergold'	Variegated Japanese Sedge	5-gal	14		low 0.3

LANDSCAPE AREA: 753 SF
IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES

A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT A RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

All trees to be planted with commercial root barriers.
3" deep shredded Cedar bark to spread between plants.

NOTE:
All groundcover areas where plants are 3' or greater to have 2 layers of geotextile fabric in 2 different directions geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.

NOTE:
Waterproofing and drains in planters by others.



Aeonium a. 'Kiwi'



Aeonium a. 'Tip Top'



Chondropetalum t. 'El Campo' / Cape Rush



Carex oshimensis 'Evergold' / Variegated Japanese Sedge



Dasyliiron wheeleri / Desert Spoon



Aloe striata



Cordylina a. 'Red Star'

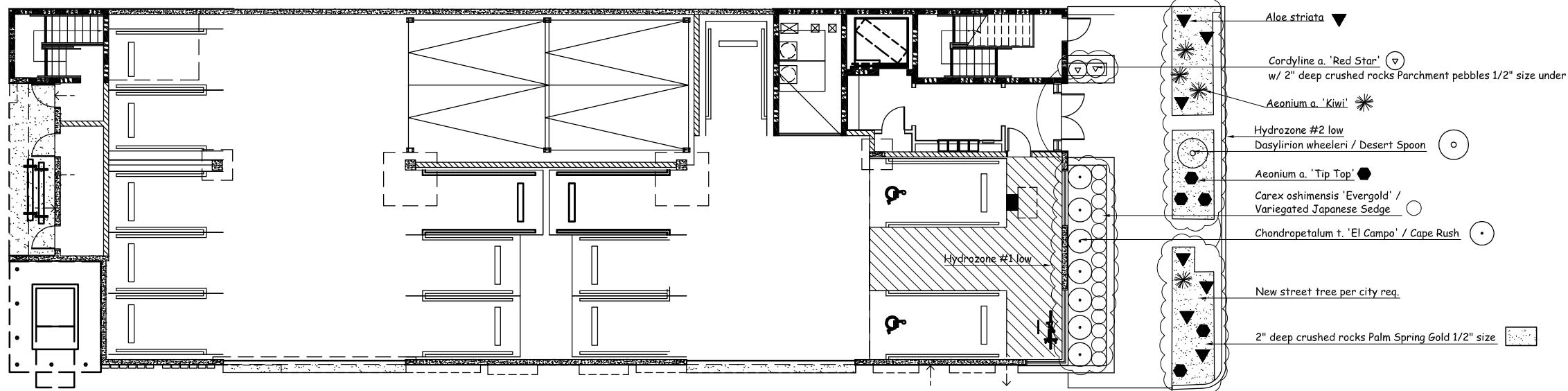
PLANTING NOTES

- DRAWING IS DIAGRAMMATIC; CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA, ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
 - *150 LBS. GRO-POWER
 - *3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
 - *ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.

- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80% SOIL OF SITE AND 20% FIR BARK AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATIOS:

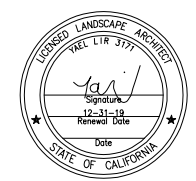
5 GAL	6-8
24" box	14-16

 PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.
- ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR), APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.
- CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.
- SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.



EAST 5TH STREET

FIRST FLOOR PLANTING PLAN



DATE: AUG. 8, 2017
SCALE: 1/8"=1'-0"
JOB NUMBER: 194817
DRAWN BY:

REVISIONS	DATE
1.	12.11.17
2.	05.09.18
3.	
4.	
5.	
6.	
7.	
8.	
9.	

Yael Lir
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E. 5TH STREET APARTMENTS
425 E. 5TH STREET
LONG BEACH, CA 90802

REVISIONS	DATE
1.	12.11.17
2.	05.09.18
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9.	

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊗	<i>Laurus nobilis</i>	Sweet Bay	24"box	2	low branching	low 0.3

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	<i>Agave attenuata</i> 'Variegata'	Cape Rush Myrtle	5-gal	13		low 0.3
⊙	<i>Chondropetalum</i> t. 'El Campo'		5-gal	16		low 0.3
⊙	<i>Myrtus communis</i> 'Compacta'		5-gal	14		low 0.3



Laurus nobilis / Sweet Bay



Agave attenuata 'Variegata'



Myrtus c. 'Compacta' / Myrtle

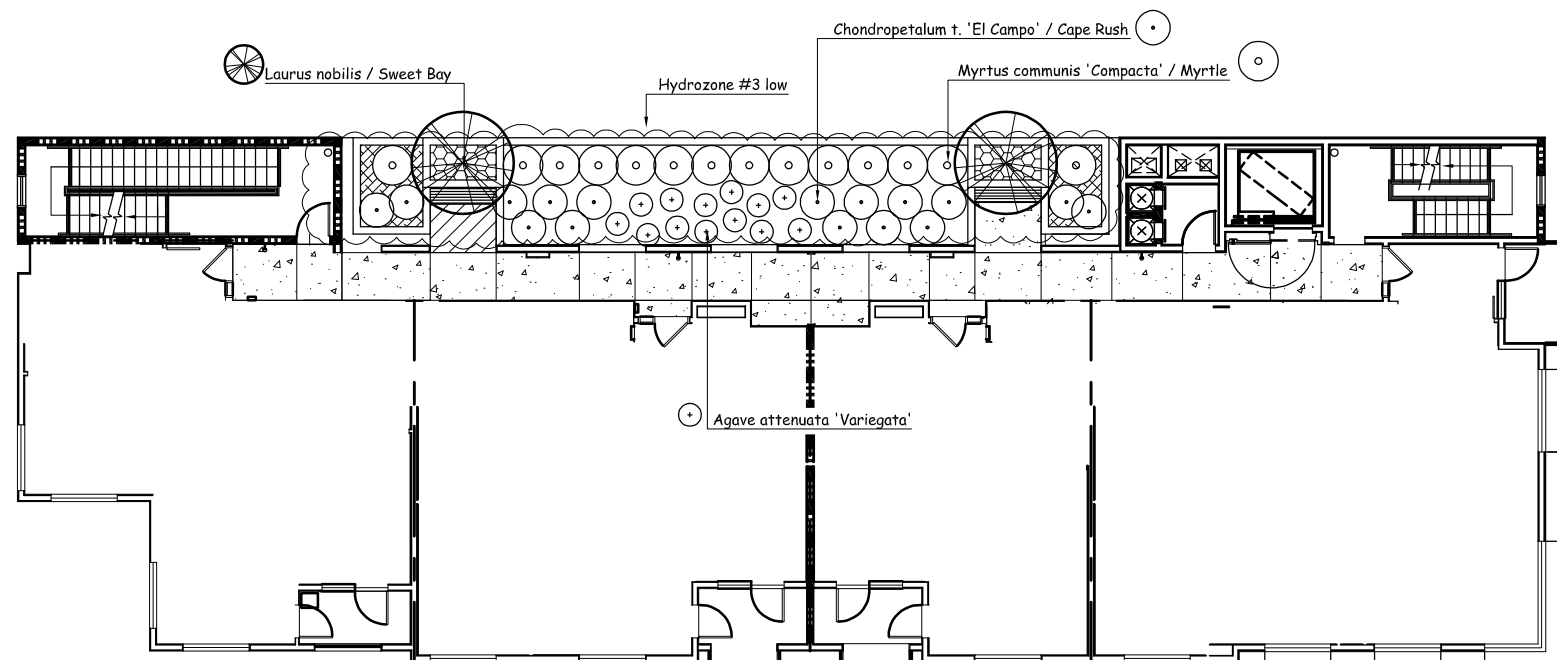


Chondropetalum t. 'El Campo' / Cape Rush

All trees to be planted with commercial root barriers. 2" deep shredded Cedar bark to spread between plants.

NOTE:
All groundcover areas where plants are 3' oc or greater to have 2 layers of geotextile fabric in 2 different directions geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.

NOTE:
Waterproofing and drains in planters by others.



EAST 5TH STREET

E. 5TH STREET APARTMENTS
425 E. 5TH STREET
LONG BEACH, CA 90802

SECOND FLOOR
PLANTING PLAN



DATE: AUG. 8, 2017
SCALE: 1/8"=1'-0"
JOB NUMBER: 194817
DRAWN BY:



ALL IRRIGATION IS SUB-SURFACE DRIP SYSTEM

IRRIGATION LEGEND		
DESCRIPTION	SYM.	
'NIBCO' GATE VALVE T-113 'CHRISTY' CONCRETE VALVE BOX 'RAINBIRD' QUICK COUPLER 44 LRC 1" 'WILKINS' BACKFLOW PREVENTER 375 'TORO' CUSTOM COMMAND 'HUNTER' SOLAR SYNC SLEEVING SCH. 40 P.V.C. PRESSURE LINE SCH. 40 P.V.C. NON-PRESSURE LINE SCH. 40 P.V.C. IRRIGATION SUB METER POINT OF CONNECTION	◀▶ ● ◻ ⊕ ----- ----- ----- M P.O.C.	W/WYE STRAINER (BFP TO BE PAINTED DARK GREEN) LOCATION BY OWNER LOCATED ON EAVE OF ROOF TWICE LINE SIZE (MIN.) 1" SEE PLAN FOR SIZE VERIFY LOCATION ON SITE
NETAFIM LEGEND		
'NETAFIM' LVC210075-HF 'NETAFIM' LINE FLUSH VALVE 'NETAFIM' TECHLINE CV TLCV4-18025 NON-PRESSURE 1" SCH. 40 PVC HEADER	⊕ ⊕ ----- -----	CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR. BURIED 3" BELOW GRADE

SIZE NO. GPM	LANDSCAPE AREA: 753 SF
H-HYDROZONE	IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE
Jan 12/11/2017

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS
A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR A LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICE.
AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSE
CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR

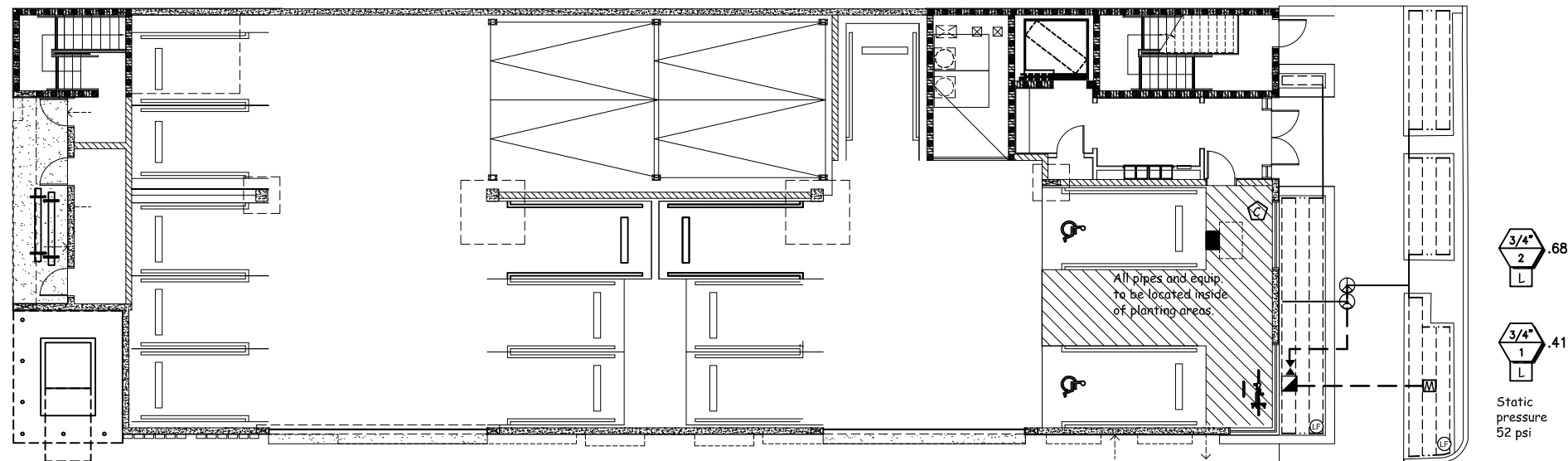
WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE EVAPOTRANSPIRATION (ET_o): 39.7

HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	LANDSCAPE AREA	ETAF x AREA	ESTIMATED TOTAL WATER USE	
1 / water use plants	.3	DRIP	.81	.37	141	52	1279	
2 / water use plants	.3	DRIP	.81	.37	230	85	2092	
3 / water use plants	.3	DRIP	.81	.37	382	141	3470	
SUM					753	278		
ETAF CALCULATION							ESTIMATED TOTAL WATER USE (ETWU)	6,841
ETAF x AREA							278	
TOTAL AREA							753	
AVERAGE ETAF							.36	
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)							8,340	

IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
- SET ALL VALVES AND QUICK COUPLERS NEXT TO WALKS OR PAVED SURFACES.
- ALL SPRINKLER HEADS ARE TO HAVE TRIPLE SWING JOINTS (EXCEPT WHERE NOTED ON PLANS).
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF THE SAID REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER.
- 120VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS.
- BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT I.D. NUMBER BY CALLING 1-800-422-4133. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE I.D. NUMBER IS OBTAINED AND BEFORE THE EXCAVATION WORK IS STARTED SO THAT UTILITY OWNERS CAN BE NOTIFIED.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY ONTO WALKS, STREETS, ETC.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE GRADE DIFFERENCES, LOCATION OF WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER ROADWAYS AND PAVING, ETC.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE OF 80 P.S.I. AND A MAXIMUM FLOW DEMAND OF 25 G.P.M. THE CONTRACTOR SHALL VERIFY WATER PRESSURES PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE ARCHITECT.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES IN THE AREA. DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE INTENT OF THE CONTRACTOR IS TO PROVIDE 100% COVERAGE TO ALL PLANTING AREAS. AS PART OF THE SCOPE OF WORK, PROVIDE ANY ADDITIONAL HEADS, SPECIAL NOZZLES, OR PATTERNS TO ACHIEVE PROPER COVERAGE WITH A MINIMUM OF OVER SPRAY AT NO ADDITIONAL COST TO THE OWNER.
- INSTALLATION FOR THE CONTROL WIRES SHALL FOLLOW MAINLINE ROUTING.
- PROVIDE SLEEVES AS SHOWN ON DRAWING OR AS NEEDED. USE SIZE DIAMETER MIN. SCH. 80 P.V.C. MIN. DEPTH TO TOP OF LINE.
- LOCATE VALVE CHART IN CONTROLLER - REDUCE AND ENCASE IN PLASTIC (AS BUILT).
- GUARANTEE: THE INSTALLED SPRINKLER SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. SHOULD ANY TROUBLE DEVELOP WITHIN THE TIME SPECIFIED DUE TO INFERIOR OR FAULTY MATERIAL OR WORKMANSHIP, THE TROUBLE SHALL BE CORRECTED BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER.
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING THIS SECTION OF WORK.



EAST FIFTH STREET

REVISIONS	DATE
1.	12.11.17
2.	05.09.18
3.	
4.	
5.	
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9.	



ASLA
Yael Lir Landscape Architects
1010 Sycamore Ave. Suite 313
South Pasadena, CA 91030
Tel 323.258.5222
Fax 323.258.5333
yael@yaelir.com

E. 5TH STREET APARTMENTS
425 E. 5TH STREET
LONG BEACH, CA 90802

FIRST FLOOR
IRRIGATION PLAN



DATE: AUG. 8, 2017
SCALE: 1/8"=1'-0"
JOB NUMBER: 194817
DRAWN BY:

ALL IRRIGATION IS SUB-SURFACE DRIP SYSTEM

IRRIGATION LEGEND		SYM.	
DESCRIPTION			
'NIBCO' GATE VALVE T-113	◀▶		
'CHRISTY' CONCRETE VALVE BOX	●		
'RAINBIRD' QUICK COUPLER 44 LRC 1"	⊗		
'WILKINS' BACKFLOW PREVENTER 375	⊕		W/WYE STRAINER (BFP TO BE PAINTED DARK GREEN)
'TORO' CUSTOM COMMAND	⊙		LOCATION BY OWNER
'HUNTER' SOLAR SYNC	⊖		LOCATED ON EAVE OF ROOF
SLEEVING SCH. 40 P.V.C.	----		TWICE LINE SIZE (MIN.)
PRESSURE LINE SCH. 40 P.V.C.	----		1"
NON-PRESSURE LINE SCH. 40 P.V.C.	----		SEE PLAN FOR SIZE
IRRIGATION SUB METER	M		
POINT OF CONNECTION	P.O.C.		VERIFY LOCATION ON SITE
NETAFIM LEGEND			
'NETAFIM' LVCZ10075-HF	⊕		CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR.
'NETAFIM' LINE FLUSH VALVE	⊖		
'NETAFIM' TECHLINE CV TLCV4-18025	⊗		BURIED 3" BELOW GRADE
NON-PRESSURE 1" SCH. 40 PVC HEADER	----		

SIZE NO. GPM
 H—HYDROZONE
 LANDSCAPE AREA: 753 SF
 IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE
 12/11/2017

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS

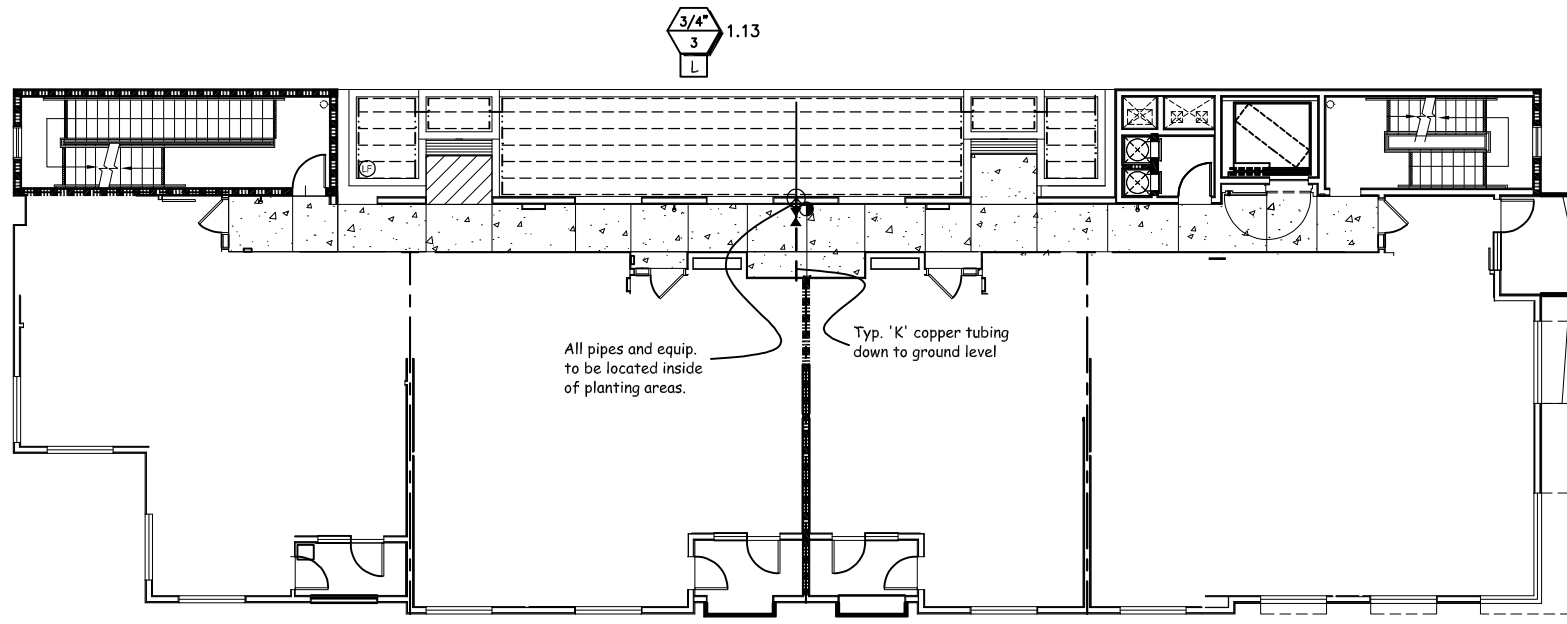
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AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSE

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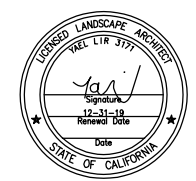
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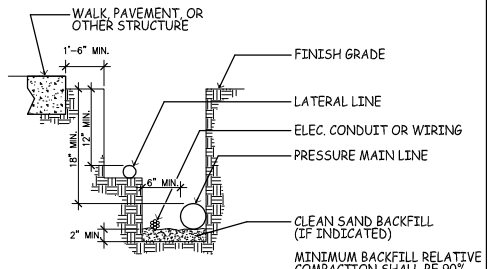
E. 5TH STREET APARTMENTS
 425 E. 5TH STREET
 LONG BEACH, CA 90802

SECOND FLOOR
 IRRIGATION PLAN



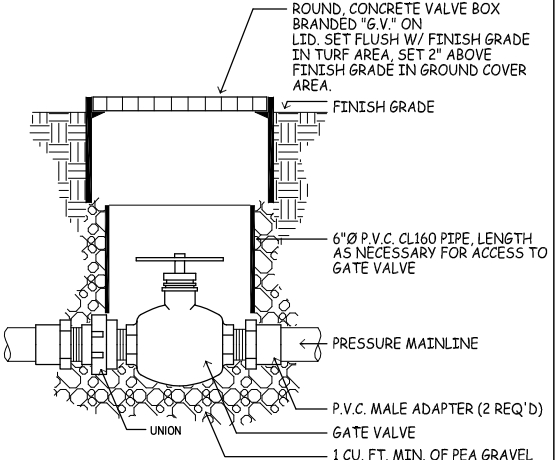
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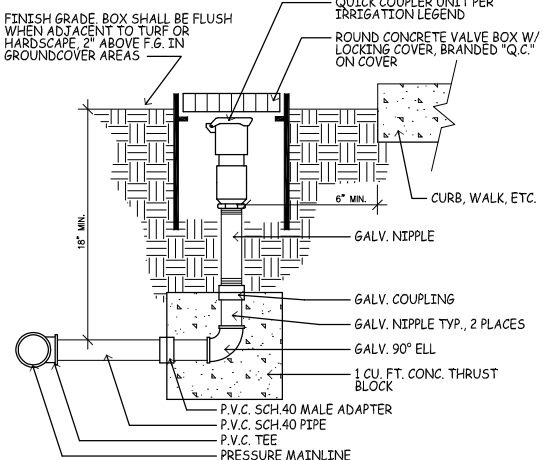


- NOTES:
1. ALL PLASTIC PIPING TO BE SNAKED IN TRENCHES
 2. BUNDLE & TAPE CONTROL WIRES AT 10' INTERVALS
 3. TIE A LOOSE 20' LOOP IN WIRING AT CHANGE OF DIRECTION GREATER THAN 30°. UNTIE ALL LOOPS AFTER ALL CONNECTIONS HAVE BEEN MADE.
 4. UNDER PAVED AREAS, ALL PRESSURE LINES & WIRES SHALL BE SLEEVED W/ SCH. 80 P.V.C. PIPE & SHALL BE 24" IN DEPTH (MIN.)
 5. INST. ALL CONTROL WIRES ON UNDERSIDE OF MAINLINE PIPE
 6. PIPE DEPTH FOR 2-1/2" AND LARGER SHALL BE 24" MINIMUM.
 7. PIPE DEPTH FOR 2" AND SMALLER SHALL BE 18" MINIMUM.
 8. PIPE DEPTH FOR ALL NON-PRESSURE LATERAL LINES SHALL BE 12" MINIMUM.

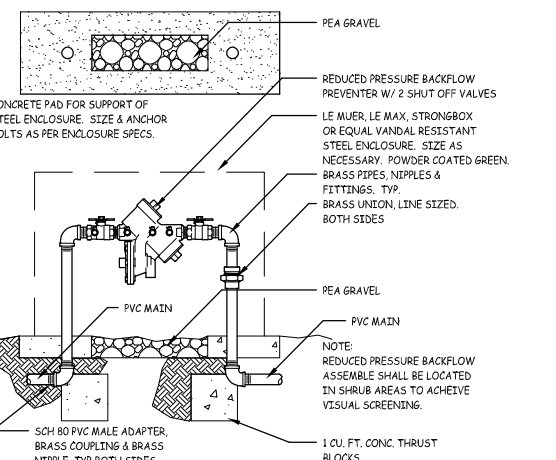
TRENCHING DETAIL
SCALE: N.T.S.
FILE: D_IRR002



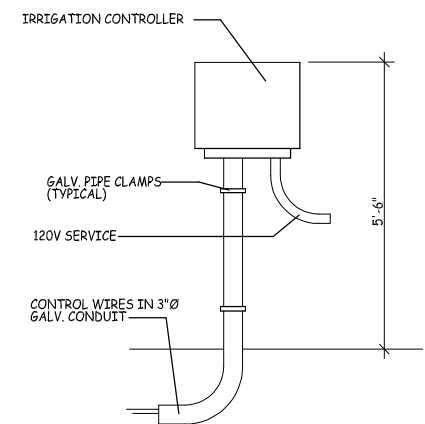
GATE VALVE
SCALE: N.T.S.
FILE: D_IRR003



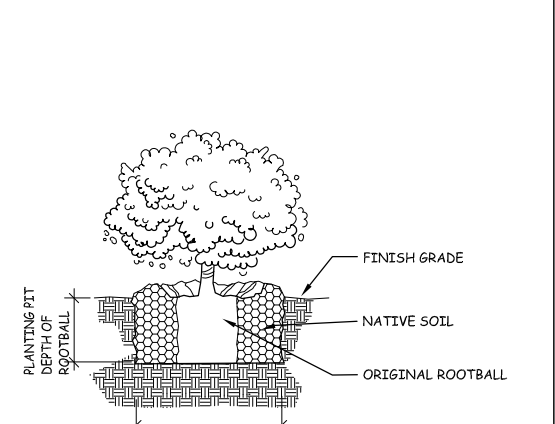
QUICK COUPLER
SCALE: N.T.S.
FILE: D_IRR005



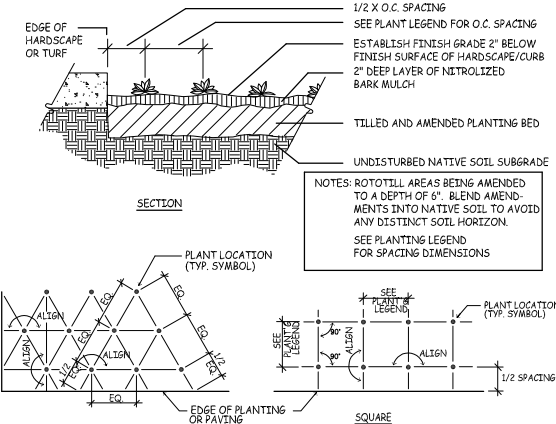
BACKFLOW PREVENTER
SCALE: N.T.S.
FILE: D_IRR006



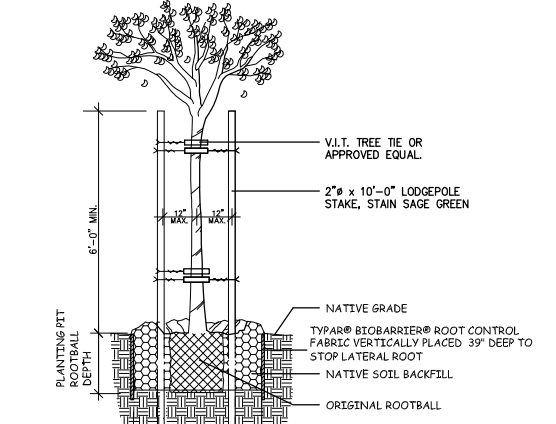
WALL MOUNT CONTROLLER
SCALE: N.T.S.
FILE: D_IRR008



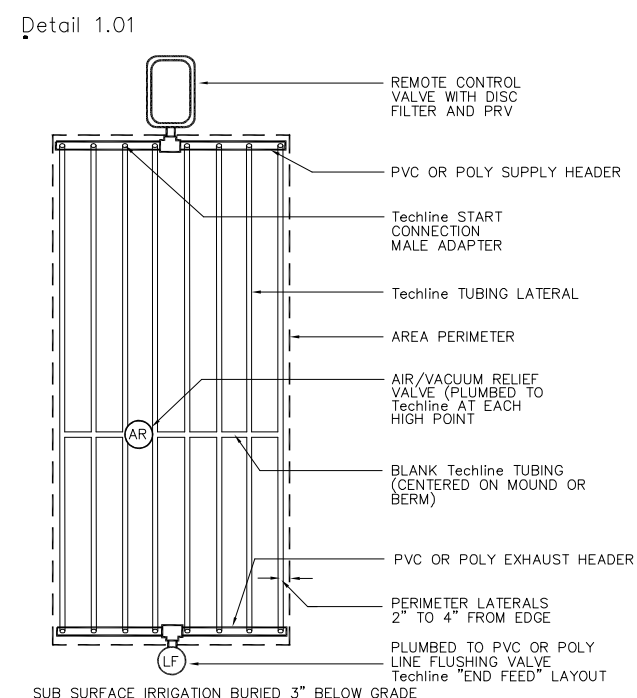
SHRUB PLANTING
SCALE: N.T.S.
FILE: D_PLA001



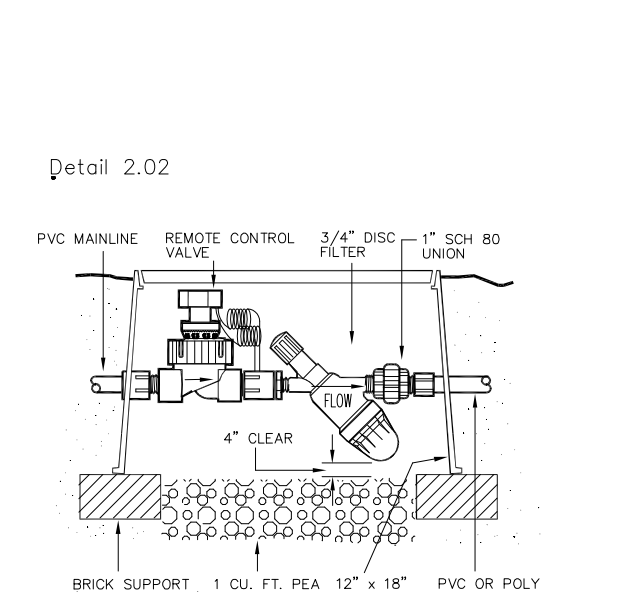
GROUNDCOVER PLANTING
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FILE: D_PLA002



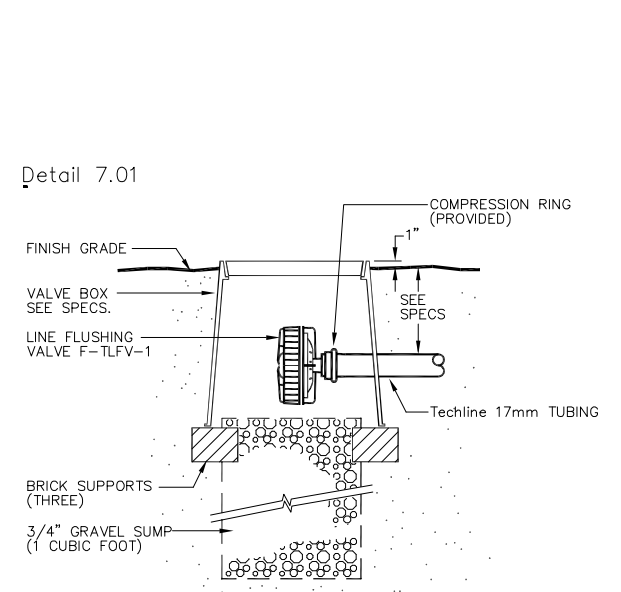
TREE PLANTING & STAKING
SCALE: N.T.S.
FILE: D_PLA003



Detail 1.01
Techline END FEED LAYOUT
DETAIL - NO SCALE



Detail 2.02
REMOTE CONTROL VALVE W/ DISC FILTER
SECTION - NO SCALE



Detail 7.01
Techline LINE FLUSHING VALVE (PLUMBED TO Techline)
SECTION - NO SCALE

REVISIONS	DATE
1.	
2.	
3.	
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5.	
6.	
7.	
8.	
9.	



ASLA
Yael Lir Landscape Architects
1010 Sycamore Ave. Suite 313
South Pasadena, CA 91030
Tel 323.258.5222
Fax 323.258.5333
yael@yaellir.com

E. 5TH STREET APARTMENTS
425 E. 5TH STREET
LONG BEACH, CA 90802

DETAIL SHEET



DATE: AUG. 8, 2017
SCALE: 1/8"=1'-0"
JOB NUMBER: 194817
DRAWN BY:



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323.553.2376

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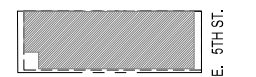
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APARTMENTS**
425 E. 5TH ST.
LONG BEACH, CA 90802
PROJECT # 17010

05.07.18
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CONSTRUCTION**

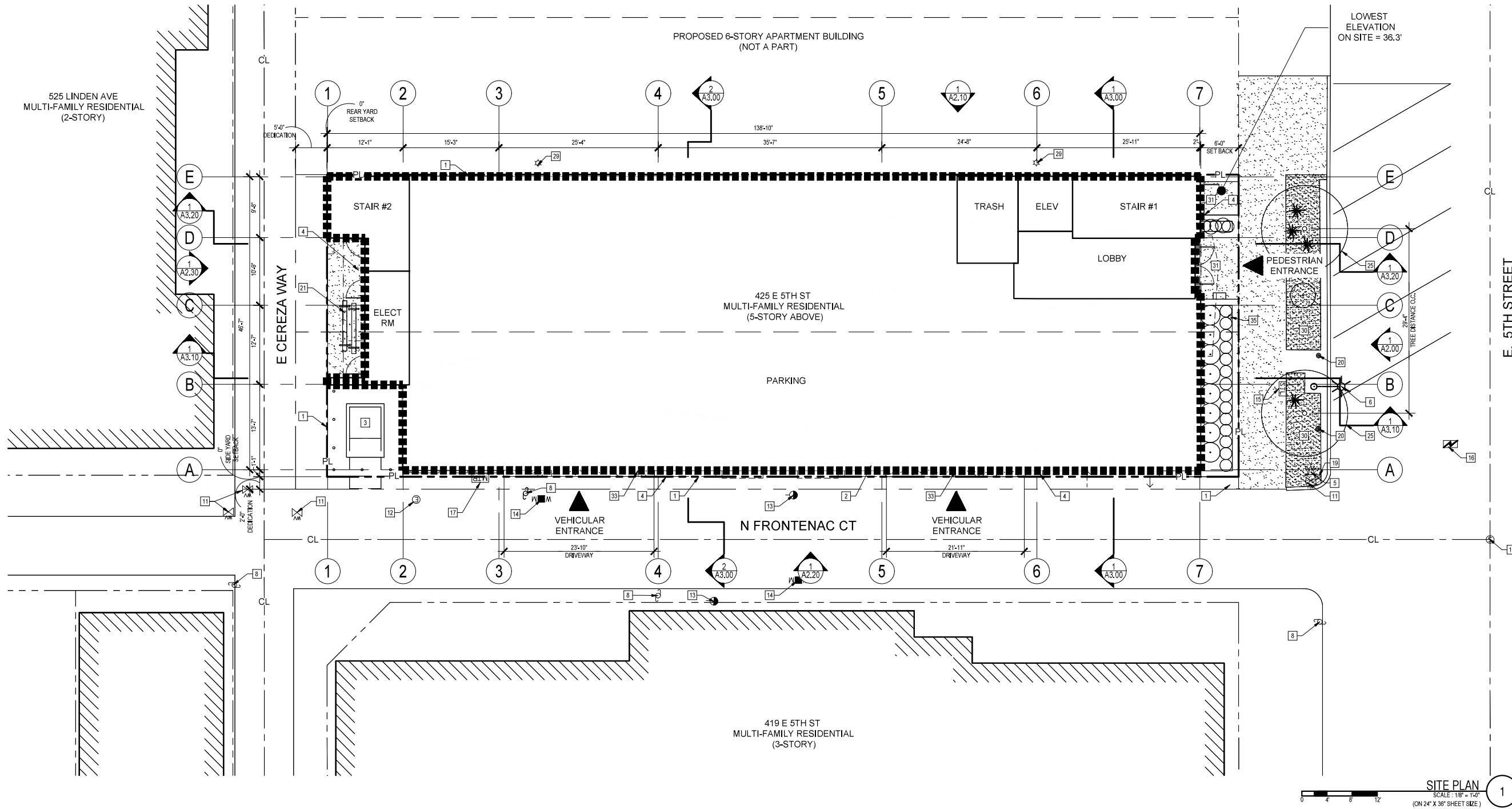
NO. ISSUES / REVISIONS DATE



SITE PLAN

ISSUE DATE: 05.07.2018

A0.01



GENERAL NOTES:

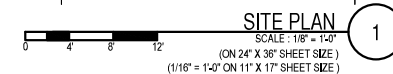
- TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED
- PROVIDE CLEAR ACCESS AT GRADE IN FRONT OF EVERY EMERGENCY ESCAPE WINDOW FROM EVERY SLEEPING ROOM BELOW THE FOURTH STORY.
- REFER TO CML DRAWINGS FOR UTILITIES AND SITEWORK
- REFER TO CML DRAWINGS FOR BUILDING PLACEMENT ON SITE.
- CONSTRUCTION WASTE TO BE HANDLED BY A CERTIFIED HAULER
- GENERAL CONTRACTOR, FRAMING CONTRACTOR, AND SCAFFOLDING CONTRACTOR REQUIRED TO OBTAIN CA OSHA PERMITS PRIOR TO COMMENCEMENT OF WORK

KEYNOTES:

- | | |
|--|---|
| 1 PROPERTY LINE SHOWN AS DASHED | 13 (E) GUY ANCHOR OR POLE TO BE REMOVED |
| 2 OUTLINE OF BUILDING PROJECTION ABOVE SHOWN DASHED | 14 (E) WATER METER |
| 3 7'-4" 9'-4" TRANSFORMER PER SOCIAL EDISON REQUIREMENTS, REFER TO ELECT. & CML DWGS | 15 (E) STREET LIGHT PULL BOX |
| 4 PROVIDE SIGN "FIRE DEPT. ACCESS", LOCK AND 3202 SERIES KNOX BOX. | 16 (E) ELECTRIC VAULT / PULL BOX |
| 5 (E) FIRE HYDRANT | 17 (E) METER BOX |
| 6 (E) STREET LIGHT POLE, REFER TO SURVEY | 18 (E) SANITARY SEWER MANHOLE |
| 7 (E) STREET LIGHT PULL BOX, REFER TO SURVEY | 19 (E) GUARD POST |
| 8 (E) POWER POLE, REFER TO SURVEY | 20 (E) 9" DIAMETER VENT |
| 9 (E) OVERHEAD POWER LINES | 21 BACKFLOW PREVENTOR (FIRE WATER) |
| 10 (E) WATER METER | 22 BACKFLOW PREVENTOR (DOMESTIC WATER) |
| 11 (E) WATER VALVE | 23 GAS METER |
| 12 (E) ELECTRIC MANHOLE | 24 BACKFLOW PREVENTOR (IRRIGATION WATER) |
| | 25 PLANTED TREE W/ TREE GRATE, REFER TO LANDSCAPE DRAWINGS. |

LEGEND:

- | | |
|--------------------------|----------------------------|
| CONCRETE ON GRADE | PLANTING AREA |
| DECOMPOSED GRANITE STRIP | FIREFIGHTER PATH OF TRAVEL |
| FINISH FLOOR ELEVATION | |





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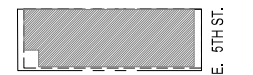
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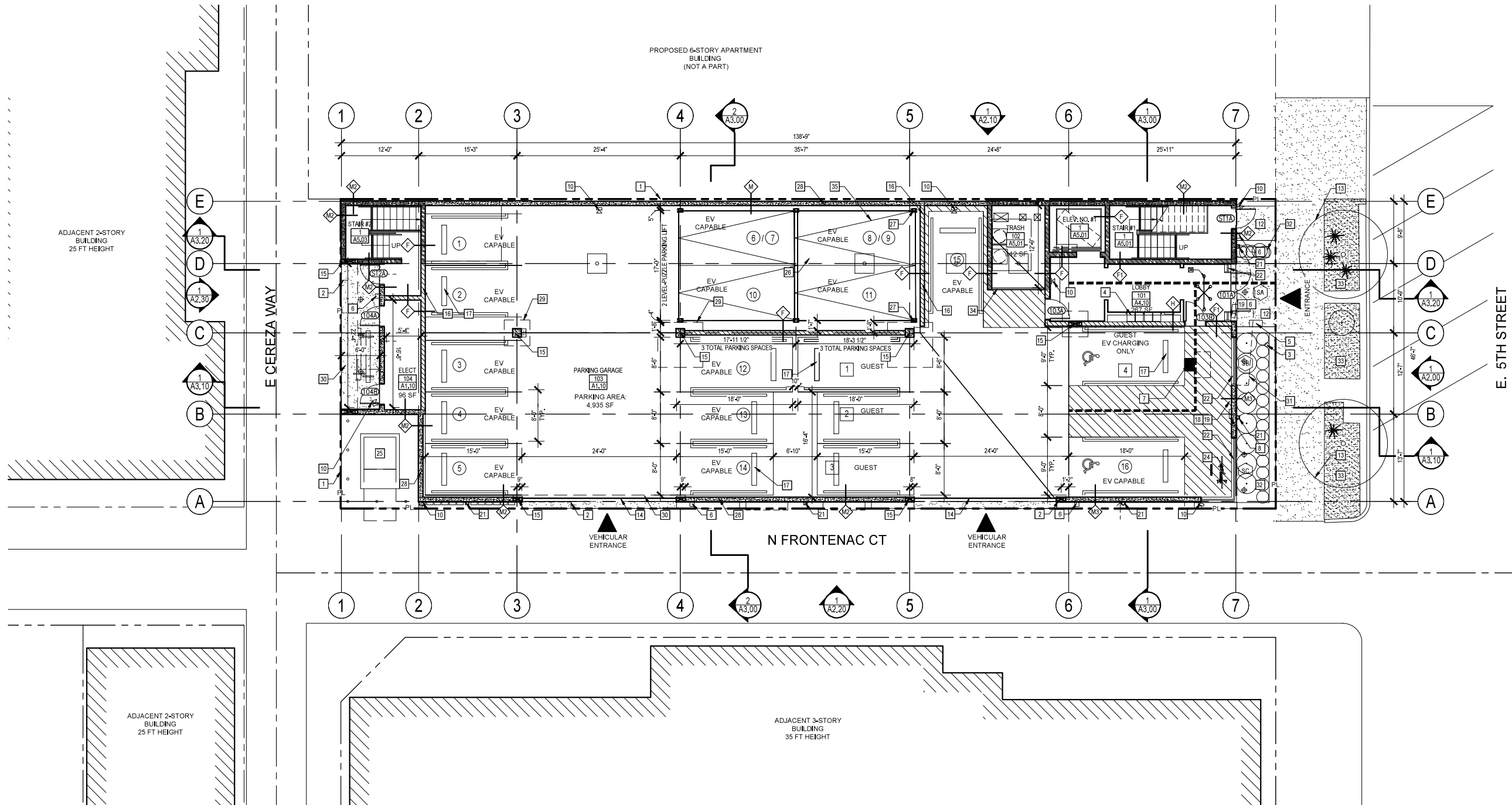
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FIRST FLOOR
PLAN

ISSUE DATE: 05.07.2018

A1.10



GENERAL NOTES:

- REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DIMENSIONS, DOOR TAGS, AND DETAIL.
- TYPICAL DIMENSIONS ARE TO FACE OF STRUCTURE WHICH IS FACE OF CONCRETE, FACE OF STUD, OR FACE OF SHEATHING AS OCCURS.
- WHERE EXTRA LAYER OF GYPSUM BOARD IS REQUIRED FOR FIRE RATING ADD EXTRA LAYER TO ENTIRE LENGTH OF WALL, SO THERE IS NO JOG IN FINISHED SURFACE.
- PROVIDE FIRE PARTITION IN ACCORDANCE WITH CBC 709.1 FOR:
 - WALLS SEPARATING DWELLING UNITS.
 - CORRIDOR WALLS

KEYNOTES:

- | | | |
|--|---|---|
| 1 PROPERTY LINE SHOWN AS DASHED | 15 CONCRETE COLUMN, PER STRUCTURAL DWGS | 27 BACK ROW PUZZLE STEEL COLUMN SITS IN PIT, ALL OTHERS SIT OUT OF PIT |
| 2 OUTLINE OF BUILDING, ABOVE | 16 CMU WALL, REFER TO STRUCTURAL DWGS | 28 CONCRETE WALL, REFER TO STRUCTURAL DWGS |
| 3 FIRE DEPARTMENT CONNECTION | 17 CONCRETE WHEEL STOP, REFER TO DETAIL 3/G0.15 | 29 COLUMN CAP, PER STRUCTURAL DWGS |
| 4 MAILBOX UNITS | 18 ACCESSIBLE PARKING SIGN, REFER TO DETAIL 2/G0.15 | 30 BEAM ABOVE, PER STRUCTURAL DWGS |
| 5 POST MOUNTED CALLBOX | 19 PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY ADJACENT TO MAIN ENTRY DOOR, REFER TO DETAIL 2/G0.15 | 31 AWNING ABOVE |
| 6 PROVIDE SIGN "FIRE DEPT, ACCESS" LOCK AND KNOX BOX | 20 AREA DRAIN, REFER TO PLUMBING DWGS | 32 PLANTER, REFER TO LANDSCAPE DWGS |
| 7 EV CHARGER | 21 EXTERIOR BUILDING LIGHT, REFER TO ELECTRICAL DWGS | 33 PLANTING REFER TO LANDSCAPE DWGS |
| 8 FIRE EXTINGUISHER | 22 ALUMINUM STOREFRONT GLAZING SYSTEM WITH CLEAR ANODIZED FINISH, DUAL GLAZED WITH CLEAR LOW-E GLASS, REFER TO SCHEDULE ON SHEET A6.01 AND DETAILS ON SHEET A7.12 | 34 COILING ROLLUP GATE TO TRASH ROOM |
| 9 NOT USED | 23 HOSE BIB, REFER TO PLUMBING DWGS | 35 PUZZLE PARKING SYSTEM |
| 10 SECURITY CAMERA, REFER TO ELECTRICAL DRAWINGS | 24 BIKE PARKING | 36 BRENDAN RAVENHILL STUDIO LONG PIVOT CHANDELIER (72"x29"x11"), COLOR: BLACK, DROP HEIGHT: 38" RIGID TUBE, REFER TO SPEC SHEET |
| 11 PLANTED AREA AT GRADE, PER LANDSCAPE DWGS | 25 TRANSFORMER LOCATION, REFER TO MECHANICAL DWGS | |
| 12 CONCRETE WALKWAY, PER TO LANDSCAPE DWGS | 26 PUZZLE PARKING PIT, 4-3/8" DEEP | |
| 13 STREET TREES, PER LANDSCAPE DWGS | | |
| 14 PARKING GARAGE, COILING GATE | | |

LEGEND:

- CMU WALL
- SHOTCRETE WALLS, PER STRUCTURAL DWGS
- 2X WOOD FRAME WALL
- 1 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER
- DISABLED PATH OF TRAVEL
- FINISH FLOOR ELEVATION
- LANDSCAPE PLANTING AREA
- SOLID SURFACE AREA
- FIRE EXTINGUISHER, SURFACE MOUNTED 2A-10, BC RATED

FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)



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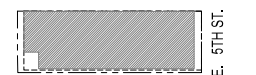
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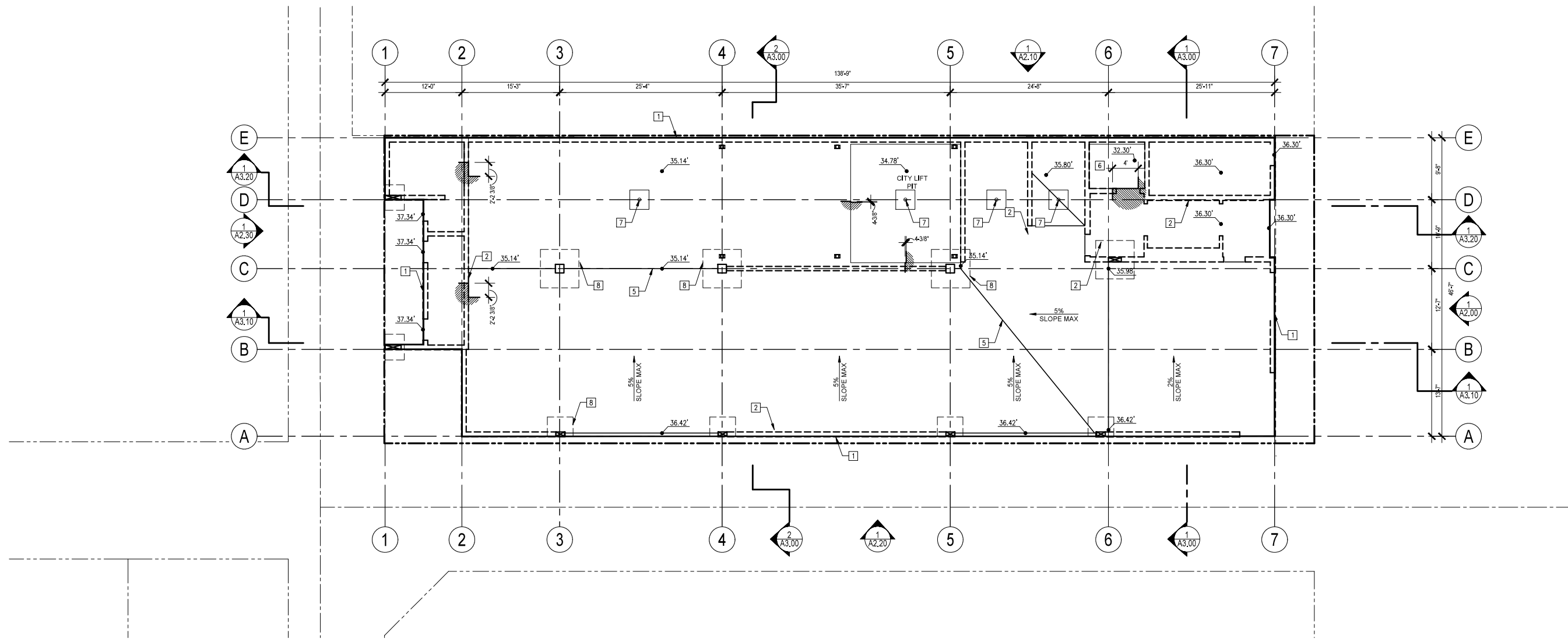
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FIRST FLOOR SLAB PLAN
PLAN

ISSUE DATE: 05.07.2018

A1.11



FIRST FLOOR SLAB PLAN
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

GENERAL NOTES:

- GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF SLAB WITH FRAMING, PLUMBING, MECHANICAL, ELECTRICAL AND ALL OTHER TRADES.
- REFER TO CIVIL, IRRIGATION, MECHANICAL, PLUMBING AND ELECTRICAL DWGS FOR ADDITIONAL PENETRATIONS.
- DETAIL CALLOUTS FOR TYPICAL CONDITIONS ARE SHOWN OCCASIONALLY BUT APPLY TO ALL OCCURRENCES OF TYPICAL CONDITION.

KEYNOTES:

- 1 EDGE OF STRUCTURAL SLAB, REFER TO STRUCT DWGS & A1.10
- 2 WALL SHOWN DASHED, FOR REFERENCE
- 3 FLOOR AREA DRAIN, REFER TO PLUMB DWGS
- 4 FOOTING SHOWN DASHED, REFER TO STRUCT DWGS
- 5 FLOOR LINE WHERE CHANGE OF SLOPE OCCURS
- 6 ELEVATOR PIT, REFER TO DETAIL 4/A7.11
- 7 FLOOR DRAIN, REFER TO 3/ A7.03 AND PLUMBING DWGS
- 8 COLUMN FOOTING, PER STRUCTURAL DWGS

LEGEND:

- DRAINAGE SLOPE
- DRAIN LOCATION
- WALL, REFER TO A1.10 FOR WALL TYPE



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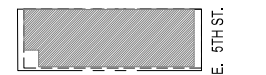
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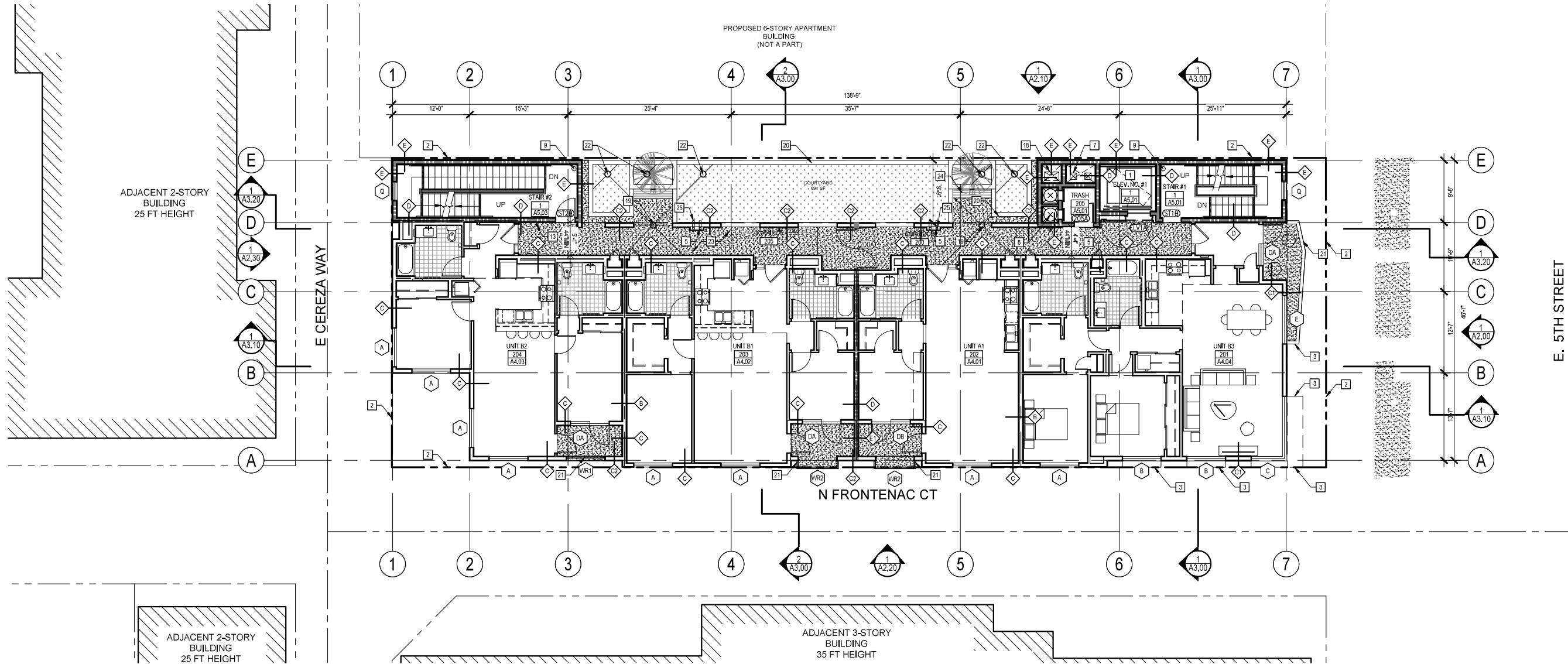
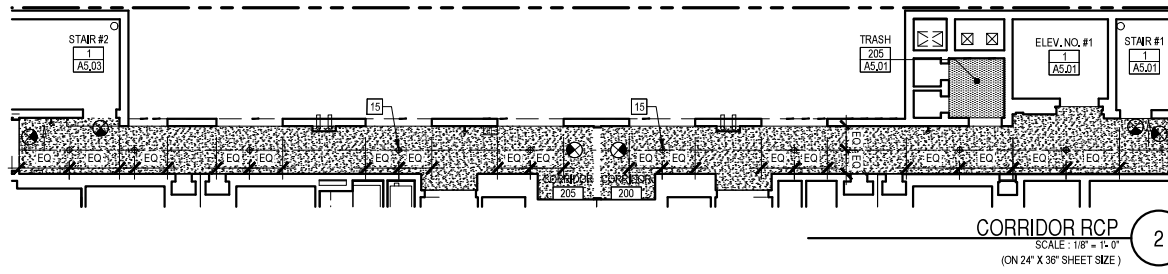
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SECOND FLOOR
PLAN

ISSUE DATE: 05.07.2018

A1.20



GENERAL NOTES:

- REFER TO ENLARGED UNIT PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DIMENSIONS, DOOR TAGS, AND DETAIL.
- TYPICAL DIMENSIONS ARE TO FACE OF STRUCTURE WHICH IS FACE OF CONCRETE, FACE OF STUD, OR FACE OF SHEATHING AS OCCURS.
- WHERE EXTRA LAYER OF GYPSUM BOARD IS REQUIRED FOR FIRE RATING ADD EXTRA LAYER TO ENTIRE LENGTH OF WALL, SO THERE IS NO JOG IN FINISHED SURFACE.
- PROVIDE FIRE PARTITION IN ACCORDANCE WITH CBC 709.1 FOR:
 - WALLS SEPARATING DWELLING UNITS.
 - CORRIDOR WALLS

KEYNOTES:

- | | | |
|---|--|---|
| 1 ELEVATOR, 3,500 LBS. MIN CAPACITY, 100 FEET PER MINUTE TRAVEL. REFER TO DETAILS 7/G0.15, 8/G0.15, 9/G0.15 | 14 HOSE BIB, REFER TO PLUMBING DWGS. | 24 BENCH, REFER TO 3/A7.11 |
| 2 PROPERTY LINE SHOWN DASHED | 15 EXTERIOR CAN LIGHT, REFER TO ELECT DWGS | 25 DUAL DOWNSPOUT NOZZLES, REFER TO PLUMBING DRAWINGS |
| 3 AWNING ABOVE, REFER TO DETAIL 6/A7.11, 7/A7.11, 8/A7.11 | 16 WASTE WATER LINE IN WALL | |
| 4 DOWNSPOUT IN CEILING ABOVE SHOWN DASHED | 17 OVERFLOW LINE IN WALL | |
| 5 DOWNSPOUT IN WALL | 18 GARAGE EXHAUST RISER IN SHAFT OF 2 HR FIRE RESISTIVE CONSTRUCTION | |
| 6 TRAFFIC COATING OVER WOOD FLOOR, REFER TO SHEET 1/G0.42 | 19 CONCRETE DECK AREA DRAIN, REFER TO DETAIL 9/A7.02 & PLUMBING DRAWINGS | |
| 7 2 HOUR FIRE RESISTIVE EXHAUST SHAFT UP TO ROOF, REFER TO MECHANICAL DRAWINGS | 20 36\"/> | |

LEGEND:

- | | |
|---|--|
| CMU WALL | WALL TYPE DESIGNATION. REFER TO A7.01 |
| SHOTCRETE WALLS, PER STRUCTURAL DWGS | DRAINAGE SLOPE |
| 2X WOOD FRAME WALL | FIRE EXTINGUISHER, SEMI-RECESSED 2A OR 2-A 10 BC RATED |
| 2 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER | EXIT SIGN, REFER TO DETAIL 7/G0.13 |
| DISABLED PATH OF TRAVEL | SECURITY CAMERA |
| FINISH FLOOR ELEVATION | EMERGENCY EGRESS WINDOW |
| LANDSCAPE PLANTING AREA | FINISH MATERIALS |
| SOLID SURFACE AREA | PLASTER SOFFIT |
| OUTLET | |



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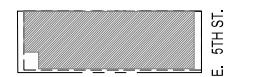
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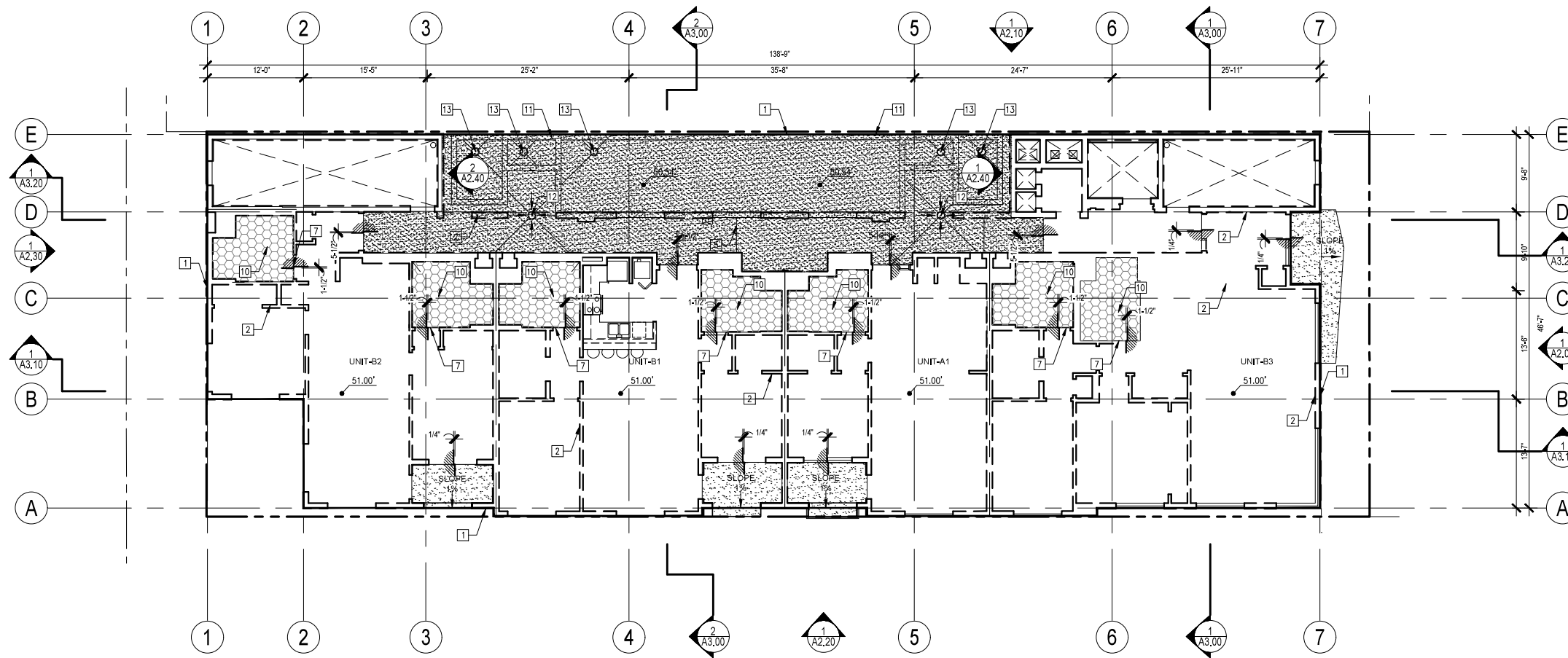
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SECOND FLOOR
SLAB PLAN

ISSUE DATE: 05.07.2018

A1.21



GENERAL NOTES:

- GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF SLAB WITH FRAMING, PLUMBING, MECHANICAL, ELECTRICAL AND ALL OTHER TRADES.
- REFER TO CIVIL, IRRIGATION, MECHANICAL, PLUMBING AND ELECTRICAL DWGS FOR ADDITIONAL PENETRATIONS.
- DETAIL CALLOUTS FOR TYPICAL CONDITIONS ARE SHOWN OCCASIONALLY BUT APPLY TO ALL OCCURRENCES OF TYPICAL CONDITION.

KEYNOTES:

- | | |
|--|---|
| 1] EDGE OF STRUCTURAL DECK, REFER TO STRUCT DWGS & A1.10 | 12] CONCRETE DECK AREA DRAIN, REFER TO DETAIL 8/A7.03 & PLUMBING DWGS |
| 2] WALL SHOWN DASHED, FOR REFERENCE | 13] PLANTER DRAIN, REFER TO DETAIL 12/A7.03 & PLUMBING DWGS |
| 3] NOT USED | |
| 4] FOOTING SHOWN DASHED, REFER TO STRUCT DWGS | |
| 5] FLOOR LINE WHERE CHANGE OF SLOPE OCCURS | |
| 6] 6"X6" CONC CURB TO BE POURED AFTER WALLS ARE UP | |
| 7] 1-1/2" SLAB DEPRESSION TO RECEIVE TILE FLOOR FINISH, REFER TO SHEET A4.07 | |
| 8] 5-1/2" SLAB DEPRESSION TO RECEIVE FINISH SLAB, REFER TO DETAIL 11/A7.03 | |
| 9] ELEVATOR PIT, REFER TO DETAIL 3/A7.02 | |
| 10] FLOOR DRAIN, REFER TO 12/ A7.12 AND PLUMBING DWGS | |
| 11] CMU PLANTER WALLS, REFER TO DETAIL 3/A7.03 | |

LEGEND:

- DRAINAGE SLOPE
- DRAIN LOCATION
- - - 2X WOOD FRAME WALL
- [Pattern] 1/4" SLAB DEPRESSION, DRAINAGE BOARD & WATERPROOF MEMBRANE
- [Pattern] 5-1/2" SLAB DEPRESSION CON, TOPPING SLAB OVER PROTECTION BOARD, DRAINAGE BOARD & WATERPROOF MEMBRANE
- [Pattern] CONCRETE DECK EXTERIOR
- [Pattern] 1-1/2" SLAB DEPRESSION

SECOND FLOOR SLAB PLAN
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

1



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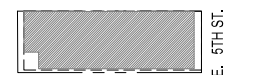
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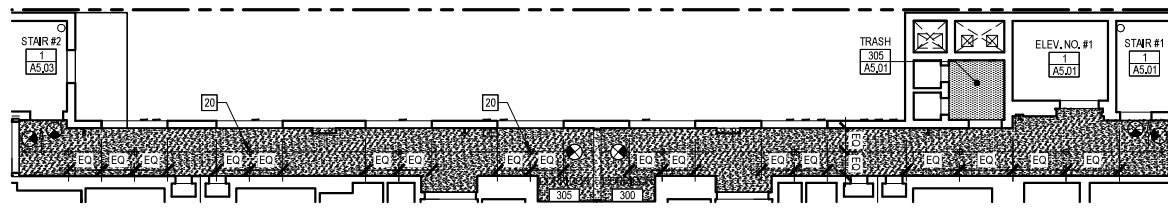
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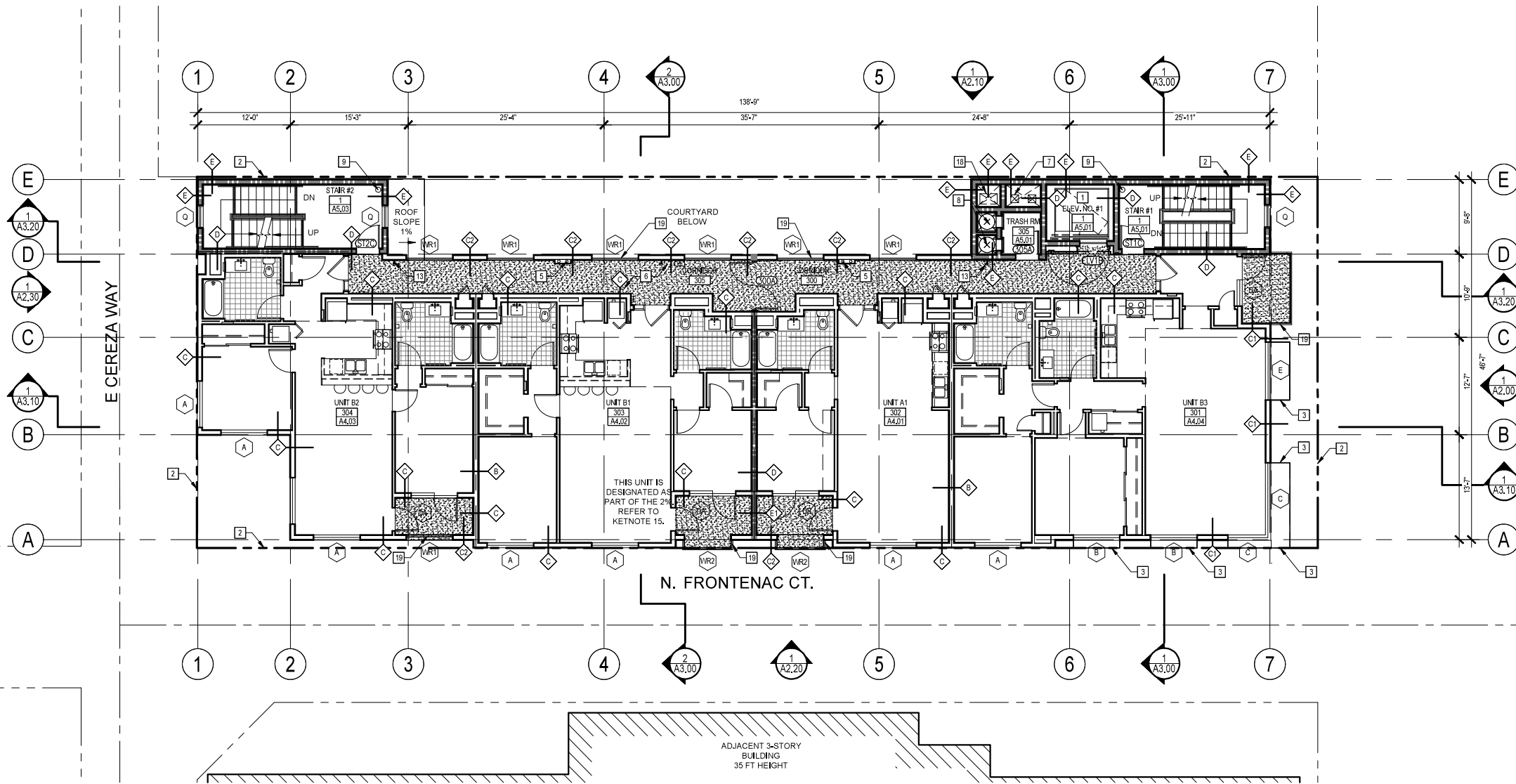
THIRD FLOOR
PLAN

ISSUE DATE: 05.07.2018

A1.30



CORRIDOR RCP (2)
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)



THIRD FLOOR PLAN (1)
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

GENERAL NOTES:

- REFER TO ENLARGED UNIT PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DIMENSIONS, DOOR TAGS, AND DETAIL.
- TYPICAL DIMENSIONS ARE TO FACE OF STRUCTURE WHICH IS FACE OF CONCRETE, FACE OF STUD, OR FACE OF SHEATHING AS OCCURS.
- WHERE EXTRA LAYER OF GYPSUM BOARD IS REQUIRED FOR FIRE RATING ADD EXTRA LAYER TO ENTIRE LENGTH OF WALL, SO THERE IS NO JOG IN FINISHED SURFACE.
- PROVIDE FIRE PARTITION IN ACCORDANCE WITH CBC 709.1 FOR:
 - WALLS SEPARATING DWELLING UNITS.
 - CORRIDOR WALLS

KEYNOTES:

- | | |
|---|--|
| 1 ELEVATOR, 3,500 LBS. MIN CAPACITY, 100 FEET PER MINUTE TRAVEL. REFER TO DETAILS 7/G0.15, 8/G0.15, 9/G0.15 | 14 NOT USED |
| 2 PROPERTY LINE SHOWN DASHED | 15 2% OF THE APARTMENT UNITS SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS FOR PERSONS WITH HEARING OR VISION IMPAIRMENTS. THIS IS UNIT #303 (REFER TO SHEET A4.02). PROVIDE VISUAL AND AUDIBLE ALARM NOTIFICATION APPLIANCES. |
| 3 AWNING ABOVE, REFER TO DETAIL 6/A7.11, 7/A7.11, 8/A7.11 | 16 WASTE WATER LINE IN WALL |
| 4 ROOF DRAIN PIPING ABOVE, REFER TO PLUMBING DWG | 17 OVERFLOW LINE IN WALL |
| 5 ROOF DRAIN IN WALL, REFER TO PLUMBING DWGS | 18 GARAGE EXHAUST RISER IN SHAFT OF 2 HR FIRE RESISTIVE CONSTRUCTION |
| 6 TRAFFIC COATING OVER WOOD FLOOR, REFER TO SHEET 1/G0.42 | 19 42" GUARDRAIL, REFER TO ELEVATION |
| 7 2 HOUR FIRE RESISTIVE EXHAUST SHAFT UP TO ROOF, REFER TO MECHANICAL DRAWINGS | 20 EXTERIOR CAN LIGHT, REFER TO ELECT DWGS |
| 8 TRASH AND RECYCLING CHUTE IN SHAFT OF 2 HOUR FIRE RESISTIVE CONSTRUCTION | |
| 9 CLASS I COMBINATION STANDPIPE | |
| 10 LAP SIDING CEMENT BOARD, PAINT TO FINISH | |
| 11 NOT USED | |
| 12 SECURITY CAMERA, REFER TO ELECTRICAL DRAWINGS | |
| 13 EXTERIOR GFCI OUTLET, REFER TO ELECTRICAL DWGS | |

LEGEND:

- | | |
|---|--|
| CMU WALL | FINISH FLOOR ELEVATION |
| SHOTCRETE WALLS, PER STRUCTURAL DWGS | WALL TYPE DESIGNATION, REFER TO A7.01 |
| 2X WOOD FRAME WALL | DRAINAGE SLOPE |
| 2 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER | FIRE EXTINGUISHER, SEMI-RECESSED 2A OR 2-A-10 BC RATED |
| DISABLED PATH OF TRAVEL | EXIT SIGN, REFER TO DETAIL 7/G0.13 |
| FINISH FLOOR ELEVATION | SECURITY CAMERA |
| LANDSCAPE PLANTING AREA | EMERGENCY EGRESS WINDOW |
| SOLID SURFACE AREA | FINISH MATERIALS |
| OUTLET | PLASTER SOFFIT |
| WATER CURTAIN | SOFFIT AT 9'-0" AFF U.N.O. |
| DISABLED PATH OF TRAVEL | EXTERIOR CAN LIGHT FIXTURE |



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PACIFIC PALISADES, CA

CONSULTANT LOGO:

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PROJECT # 17010

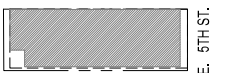
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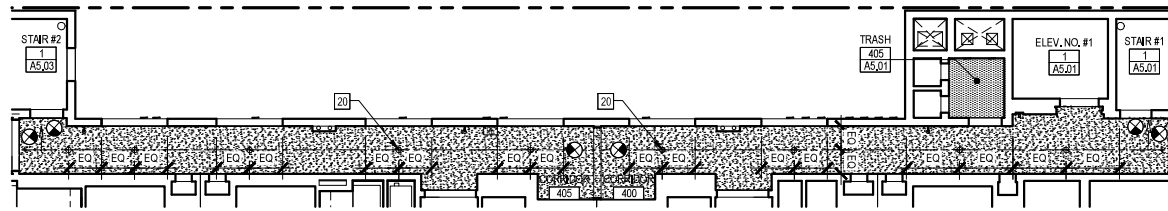
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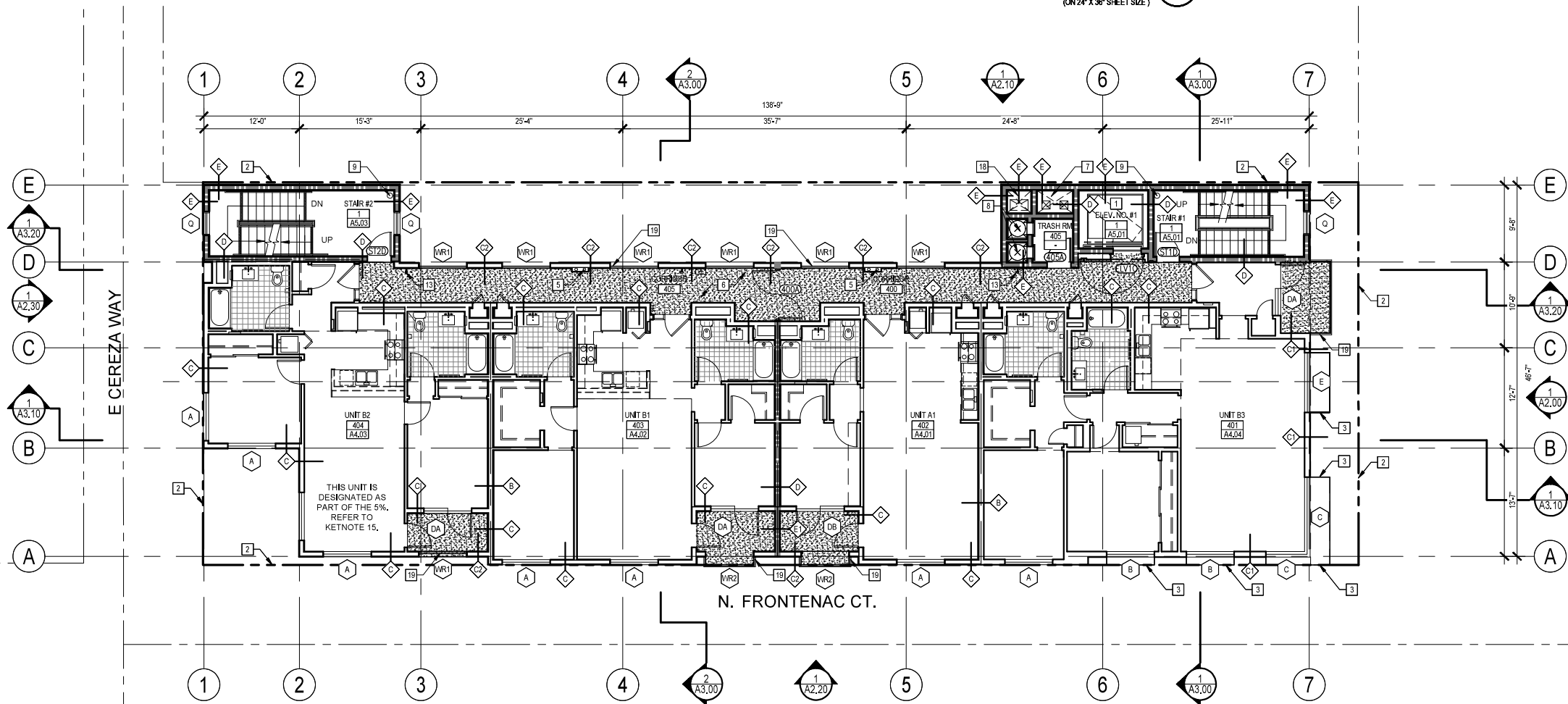
FOURTH FLOOR
PLAN

ISSUE DATE: 05.07.2018

A1.40



CORRIDOR RCP
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)



FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

GENERAL NOTES:

- REFER TO ENLARGED UNIT PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DIMENSIONS, DOOR TAGS, AND DETAIL.
- TYPICAL DIMENSIONS ARE TO FACE OF STRUCTURE WHICH IS FACE OF CONCRETE, FACE OF STUD, OR FACE OF SHEATHING AS OCCURS.
- WHERE EXTRA LAYER OF GYPSUM BOARD IS REQUIRED FOR FIRE RATING ADD EXTRA LAYER TO ENTIRE LENGTH OF WALL, SO THERE IS NO JOG IN FINISHED SURFACE.
- PROVIDE FIRE PARTITION IN ACCORDANCE WITH CBC 709.1 FOR:
 - WALLS SEPARATING DWELLING UNITS.
 - CORRIDOR WALLS

KEYNOTES:

- | | |
|---|--|
| 1 ELEVATOR, 3,500 LBS, MIN CAPACITY, 100 FEET PER MINUTE TRAVEL. REFER TO DETAILS 7/G0,15, 8/G0,15, 9/G0,15 | 13 EXTERIOR GFCI OUTLET, REFER TO ELECTRICAL DWGS |
| 2 PROPERTY LINE SHOWN DASHED | 14 NOT USED |
| 3 AWNING ABOVE, REFER TO DETAIL 6/A7,11, 7/A7,11, 8/A7,11 | 15 5% OF THE APARTMENT UNITS SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS FOR PERSONS WITH HEARING OR VISION IMPAIRMENTS, THIS IS UNIT #404 (REFER TO SHEET A4.03), PROVIDE VISUAL AND AUDIBLE ALARM NOTIFICATION APPLIANCES. |
| 4 ROOF DRAIN PIPING ABOVE, REFER TO PLUMBING DWG | 16 WASTE WATER LINE IN WALL |
| 5 ROOF DRAIN IN WALL, REFER TO PLUMBING DWGS | 17 OVERFLOW LINE IN WALL |
| 6 TRAFFIC COATING OVER WOOD FLOOR, REFER TO SHEET X/ G0,XX | 18 GARAGE EXHAUST RISER IN SHAFT OF 2 HR FIRE RESISTIVE CONSTRUCTION |
| 7 2 HOUR FIRE RESISTIVE EXHAUST SHAFT UP TO ROOF, REFER TO MECHANICAL DRAWINGS | 19 42" GUARDRAIL, REFER TO ELEVATION |
| 8 TRASH AND RECYCLING CHUTE IN SHAFT OF 2 HOUR FIRE RESISTIVE CONSTRUCTION | 20 EXTERIOR CAN LIGHT, REFER TO ELECT DWGS |
| 9 CLASS I COMBINATION STANDPIPE | |
| 10 LAP SIDING CEMENT BOARD, PAINT TO FINISH | |
| 11 NOT USED | |
| 12 SECURITY CAMERA, REFER TO ELECTRICAL DRAWINGS | |

LEGEND:

- | | |
|---|--|
| CMU WALL | FINISH FLOOR ELEVATION |
| SHOTCRETE WALLS, PER STRUCTURAL DWGS | WALL TYPE DESIGNATION, REFER TO A7.01 |
| 2X WOOD FRAME WALL | DRAINAGE SLOPE |
| 2 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER | FIRE EXTINGUISHER, SEMI-RECESSED 2A OR 2-A 10 BC RATED |
| DISABLED PATH OF TRAVEL | EXIT SIGN, REFER TO DETAIL 7/G0,13 |
| FINISH FLOOR ELEVATION | SECURITY CAMERA |
| LANDSCAPE PLANTING AREA | EMERGENCY EGRESS WINDOW |
| SOLID SURFACE AREA | FINISH MATERIALS |
| OUTLET | PLASTER SOFFIT |
| WATER CURTAIN | SOFFIT AT 9'-0" AFF U.N.O. |
| DISABLED PATH OF TRAVEL | EXTERIOR CAN LIGHT FIXTURE |



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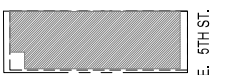
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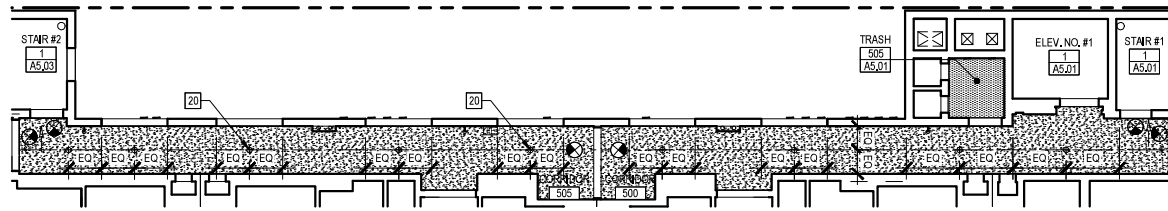
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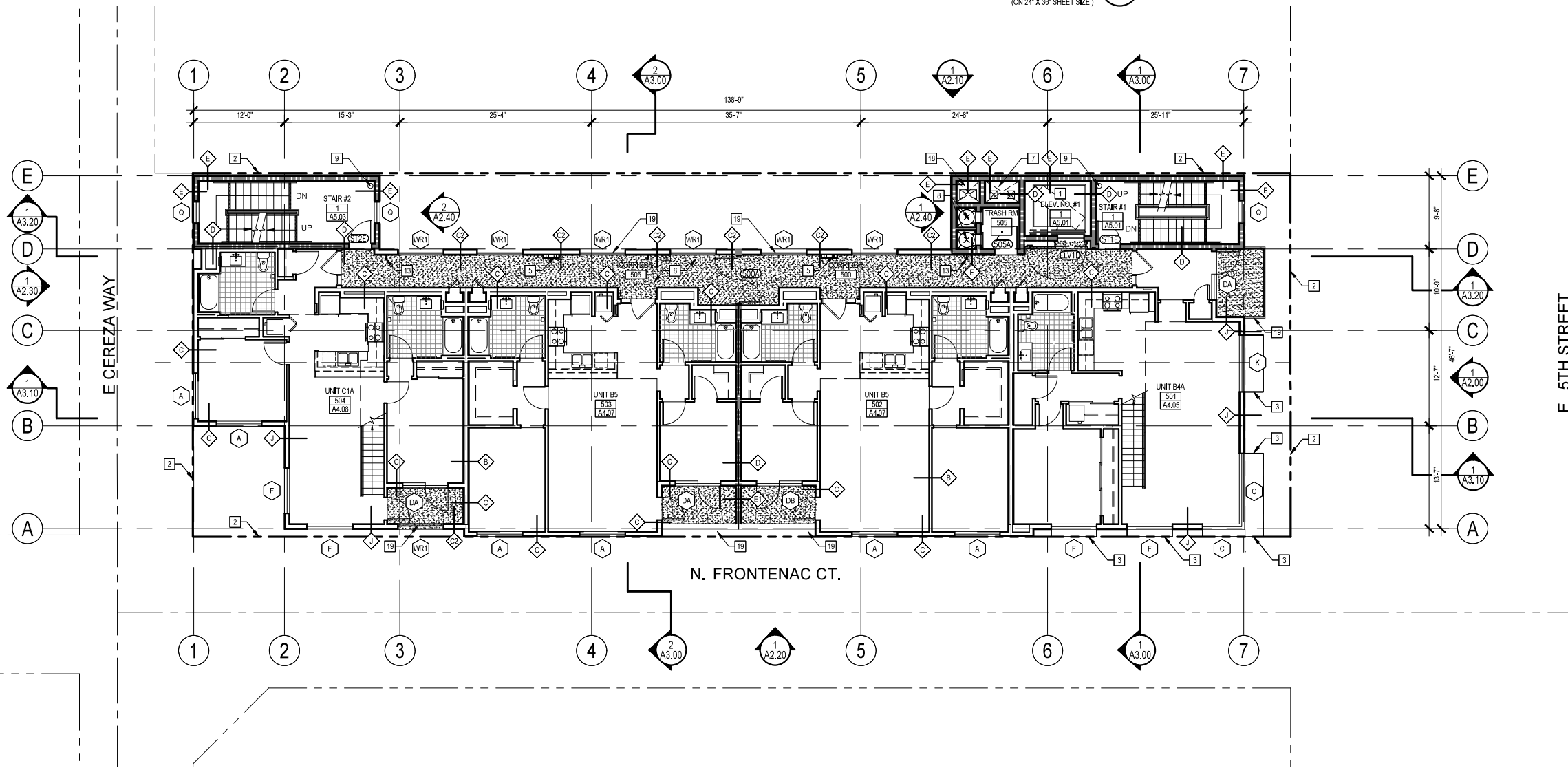
FIFTH FLOOR
PLAN

ISSUE DATE: 05.07.2018

A1.50



CORRIDOR RCP (2)
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)



FIFTH FLOOR PLAN (1)
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

GENERAL NOTES:

- REFER TO ENLARGED UNIT PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DIMENSIONS, DOOR TAGS, AND DETAIL.
- TYPICAL DIMENSIONS ARE TO FACE OF STRUCTURE WHICH IS FACE OF CONCRETE, FACE OF STUD, OR FACE OF SHEATHING AS OCCURS.
- WHERE EXTRA LAYER OF GYPSUM BOARD IS REQUIRED FOR FIRE RATING ADD EXTRA LAYER TO ENTIRE LENGTH OF WALL, SO THERE IS NO JOG IN FINISHED SURFACE.
- PROVIDE FIRE PARTITION IN ACCORDANCE WITH CBC 709.1 FOR:
 - WALLS SEPARATING DWELLING UNITS.
 - CORRIDOR WALLS

KEYNOTES:

- | | |
|---|--|
| 1 ELEVATOR, 3,500 LBS. MIN CAPACITY, 100 FEET PER MINUTE TRAVEL. REFER TO DETAILS 7/G0,15, 8/G0,15, 9/G0,15 | 14 NOT USED |
| 2 PROPERTY LINE SHOWN DASHED | 15 NOT USED |
| 3 AWNING ABOVE, REFER TO DETAIL 6/A7,11, 7/A7,11, 8/A7,11 | 16 WASTE WATER LINE IN WALL |
| 4 ROOF DRAIN PIPING ABOVE, REFER TO PLUMBING DWGS | 17 OVERFLOW LINE IN WALL |
| 5 ROOF DRAIN IN WALL, REFER TO PLUMBING DWGS | 18 GARAGE EXHAUST RISER IN SHAFT OF 2 HR FIRE RESISTIVE CONSTRUCTION |
| 6 TRAFFIC COATING OVER WOOD FLOOR, REFER TO SHEET X/ G0,42 | 19 42" GUARDRAIL, REFER TO ELEVATION |
| 7 2 HOUR FIRE RESISTIVE EXHAUST SHAFT UP TO ROOF, REFER TO MECHANICAL DRAWINGS | 20 EXTERIOR CAN LIGHT, REFER TO ELECT DWGS |
| 8 TRASH AND RECYCLING CHUTE IN SHAFT OF 2 HOUR FIRE RESISTIVE CONSTRUCTION | |
| 9 CLASS I COMBINATION STANDPIPE | |
| 10 LAP SIDING CEMENT BOARD, PAINT TO FINISH | |
| 11 NOT USED | |
| 12 SECURITY CAMERA, REFER TO ELECTRICAL DRAWINGS | |
| 13 EXTERIOR GFCI OUTLET, REFER TO ELECTRICAL DWGS | |

LEGEND:

- | | |
|---|--|
| CMU WALL | FINISH FLOOR ELEVATION |
| SHOTCRETE WALLS, PER STRUCTURAL DWGS | WALL TYPE DESIGNATION, REFER TO A7.01 |
| 2X WOOD FRAME WALL | DRAINAGE SLOPE |
| 2 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER | FIRE EXTINGUISHER, SEMI-RECESSED 2A OR 2-A 10 BC RATED |
| DISABLED PATH OF TRAVEL | EXIT SIGN, REFER TO DETAIL 7/G0,13 |
| FINISH FLOOR ELEVATION | SECURITY CAMERA |
| LANDSCAPE PLANTING AREA | EMERGENCY EGRESS WINDOW |
| SOLID SURFACE AREA | FINISH MATERIALS |
| OUTLET | PLASTER SOFFIT |
| WATER CURTAIN | SOFFIT AT 9'-0" AFF U.N.O. |
| DISABLED PATH OF TRAVEL | EXTERIOR CAN LIGHT FIXTURE |



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PROJECT # 17010

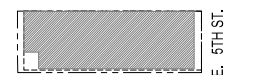
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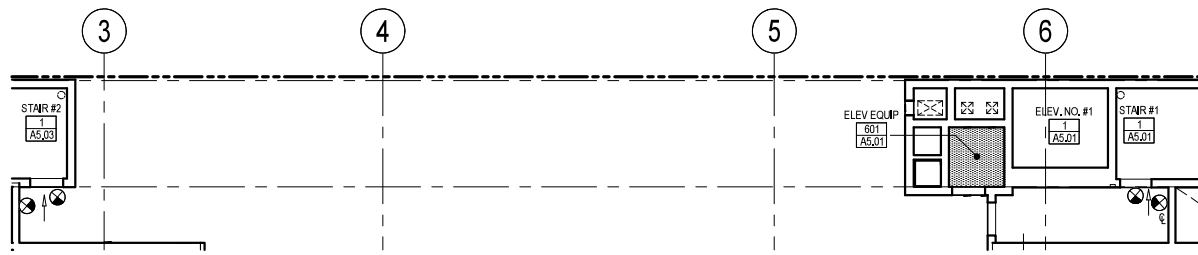
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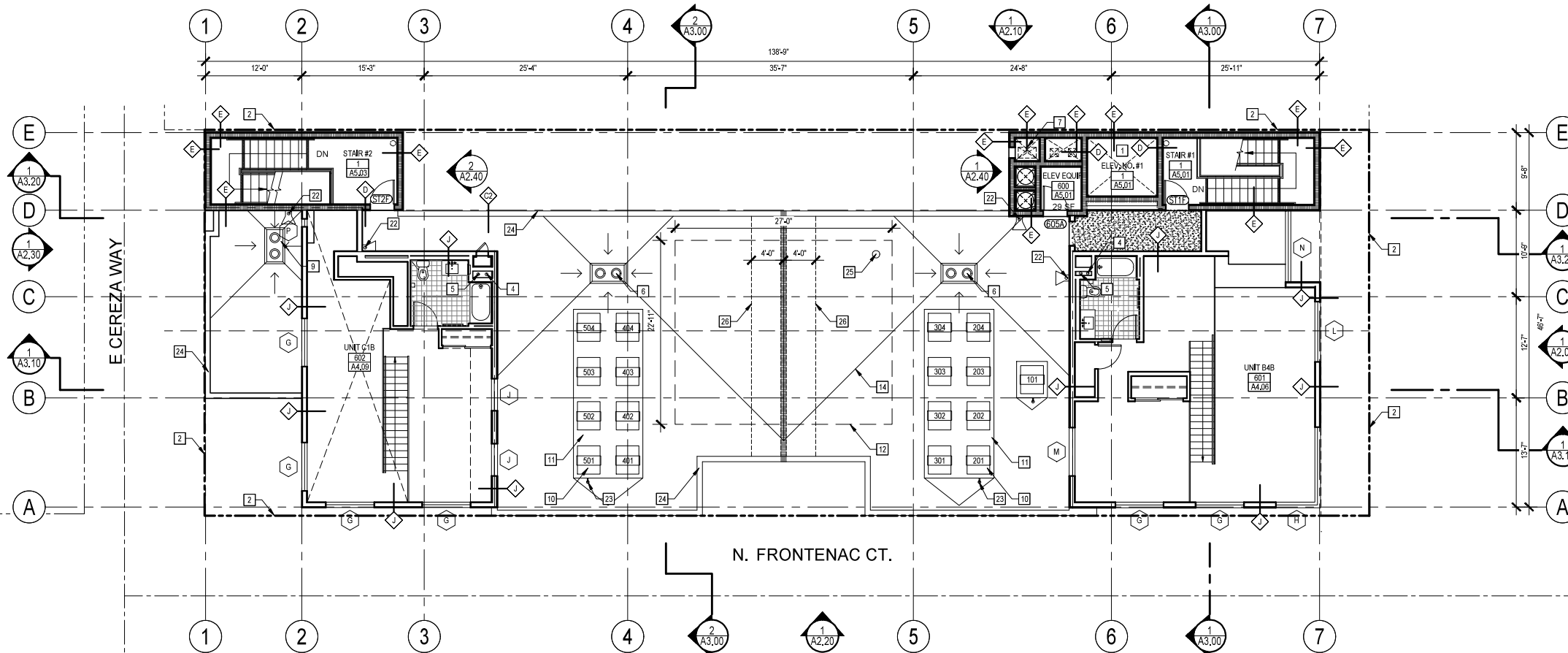
MEZZANINE

ISSUE DATE: 05.07.2018

A1.60



CORRIDOR RCP (2)
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)



MEZZANINE PLAN (1)
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

GENERAL NOTES:

- REFER TO ENLARGED UNIT PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DIMENSIONS, DOOR TAGS, AND DETAIL.
- TYPICAL DIMENSIONS ARE TO FACE OF STRUCTURE WHICH IS FACE OF CONCRETE, FACE OF STUD, OR FACE OF SHEATHING AS OCCURS.
- WHERE EXTRA LAYER OF GYPSUM BOARD IS REQUIRED FOR FIRE RATING ADD EXTRA LAYER TO ENTIRE LENGTH OF WALL, SO THERE IS NO JOG IN FINISHED SURFACE.
- PROVIDE FIRE PARTITION IN ACCORDANCE WITH CBC 709.1 FOR:
 - WALLS SEPARATING DWELLING UNITS.
 - CORRIDOR WALLS

KEYNOTES:

- | | | |
|---|--|---|
| 1 ELEVATOR, 3,500 LBS. MIN CAPACITY, 100 FEET PER MINUTE TRAVEL. REFER TO DETAILS 7/00.15, 8/00.15, 9/00.15 | 13 NOT USED | 24 ROOF PARAPET. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION & DETAIL 1/A7.07 |
| 2 PROPERTY LINE SHOWN DASHED | 14 PROVIDE CRICKET AS REQUIRED FOR PROPER DRAINAGE, SLOPE AT MINIMUM OD 2" PER 12" | 25 CONDUIT TERMINATION FOR FUTURE SOLAR USE, REFER TO ELECTRICAL DWGS |
| 3 NOT USED | 15 WATER STORAGE TANK, REFER TO PLUMBING PLANS | 26 EXTENT OF 1 HOUR FIRE RESISTIVE CONSTRUCTION FOR 2-HOUR FIRE WALL SHOWN DASHED |
| 4 ROOF DRAIN AND OVERFLOW PIPE IN WALL, REFER TO PLUMBING DWGS | 16 GARAGE EXHAUST AIR DUCT, REFER TO MECHANICAL DWGS. | |
| 5 DOWNSPOUT AND LEADER HEAD, REFER TO DETAIL 7/A7.07, 8/A7.07 | 17 LOCATION OF FUTURE SOLAR PANELS, MINIMUM SF OF AREA REQUIRED | |
| 6 ROOF DRAIN AND OVERFLOW, REFER TO DETAIL 10/A7.07, 11/A7.07 | 18 HOSE BIB, REFER TO PLUMBING DWGS. | |
| 7 2 HOUR FIRE RESISTIVE EXHAUST SHAFT UP TO ROOF, REFER TO MECHANICAL DRAWINGS | 19 NOT USED | |
| 8 TRASH AND RECYCLING CHUTE IN SHAFT OF 2 HOUR FIRE RESISTIVE CONSTRUCTION | 20 NOT USED | |
| 9 CLASS I COMBINATION STANDPIPE | 21 NOT USED | |
| 10 CONDENSING UNIT, REFER TO MECHANICAL DRAWINGS FOR UNIT SPECIFICATIONS | 22 SPLASH BLOCK | |
| 11 EQUIPMENT PADS, SHEET ETAL CAP OVER BUILT UP ROOFING ON WOOD FRAMING, REFER TO DETAIL 5/A7.07 | 23 A-BOX, POWER FOR MECHANICAL UNITS | |

LEGEND:

- CMU WALL
- SHOTCRETE WALLS, PER STRUCTURAL DWGS
- 2X WOOD FRAME WALL
- 2 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER
- DISABLED PATH OF TRAVEL
- FINISH FLOOR ELEVATION
- LANDSCAPE PLANTING AREA
- SOLID SURFACE AREA
- SOFFIT AT 9'-0" AFF U.N.O.
- WALL TYPE DESIGNATION, REFER TO A7.01



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PROJECT # 17010

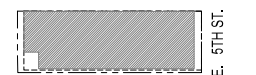
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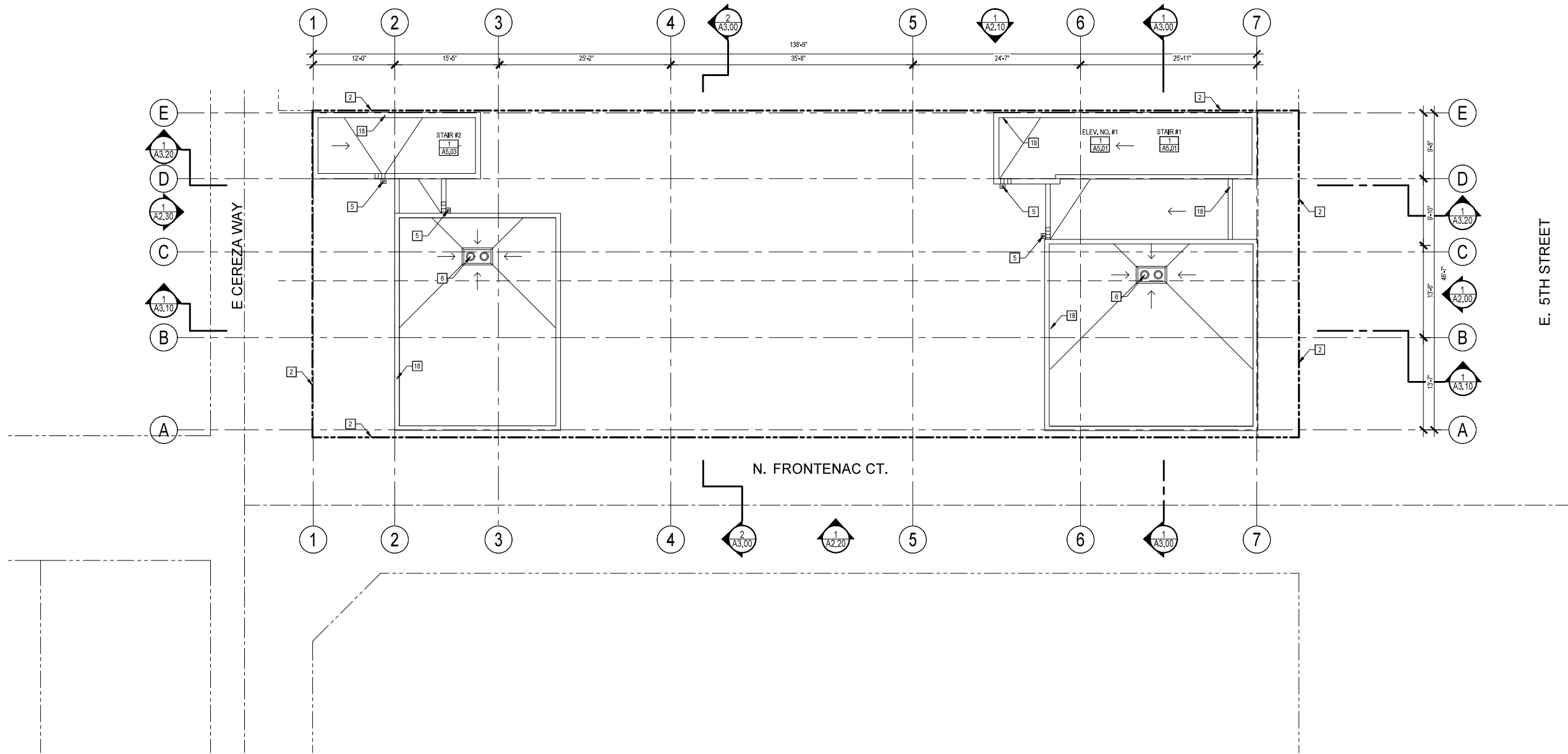
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ROOF PLAN

ISSUE DATE: 05.07.2018

A1.70



GENERAL NOTES:

- REFER TO ENLARGED KITCHEN AND BATHROOM PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DIMENSIONS, DOOR TAGS, AND DETAIL.
- TYPICAL DIMENSIONS ARE TO FACE OF STRUCTURE WHICH IS FACE OF CONCRETE, FACE OF STUD, OR FACE OF SHEATHING AS OCCURS.
- WHERE EXTRA LAYER OF GYPSUM BOARD IS REQUIRED FOR FIRE RATING ADD EXTRA LAYER TO ENTIRE LENGTH OF WALL, SO THERE IS NO JOG IN FINISHED SURFACE.
- PROVIDE FIRE PARTITION IN ACCORDANCE WITH CBC 709.1 FOR:
 - WALLS SEPARATING DWELLING UNITS.
 - CORRIDOR WALLS

KEYNOTES:

- 1 NOT USED
- 2 PROPERTY LINE SHOWN DASHED
- 3 NOT USED
- 4 NOT USED
- 5 DOWNSPOUT AND LEADER HEAD, REFER TO DETAIL 7/A7.07.8/A7.07.9/A7.07.10
- 6 ROOF DRAIN, REFER TO DETAIL 10/A7.07.11/A7.07.12
- 7 NOT USED
- 8 NOT USED
- 9 NOT USED
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 NOT USED
- 14 HOSE BIB, REFER TO PLUMBING DWGS.
- 15 NOT USED
- 16 NOT USED
- 17 NOT USED
- 18 ROOF PARAPET, REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION & DETAIL 1/A7.07

LEGEND:

- CMU WALL
- SHOTCRETE WALLS, PER STRUCTURAL DWGS
- 2X WOOD FRAME WALL
- 1 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER
- DISABLED PATH OF TRAVEL
- FINISH FLOOR ELEVATION
- LANDSCAPE PLANTING AREA
- SOLID SURFACE AREA

ROOF PLAN
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

1



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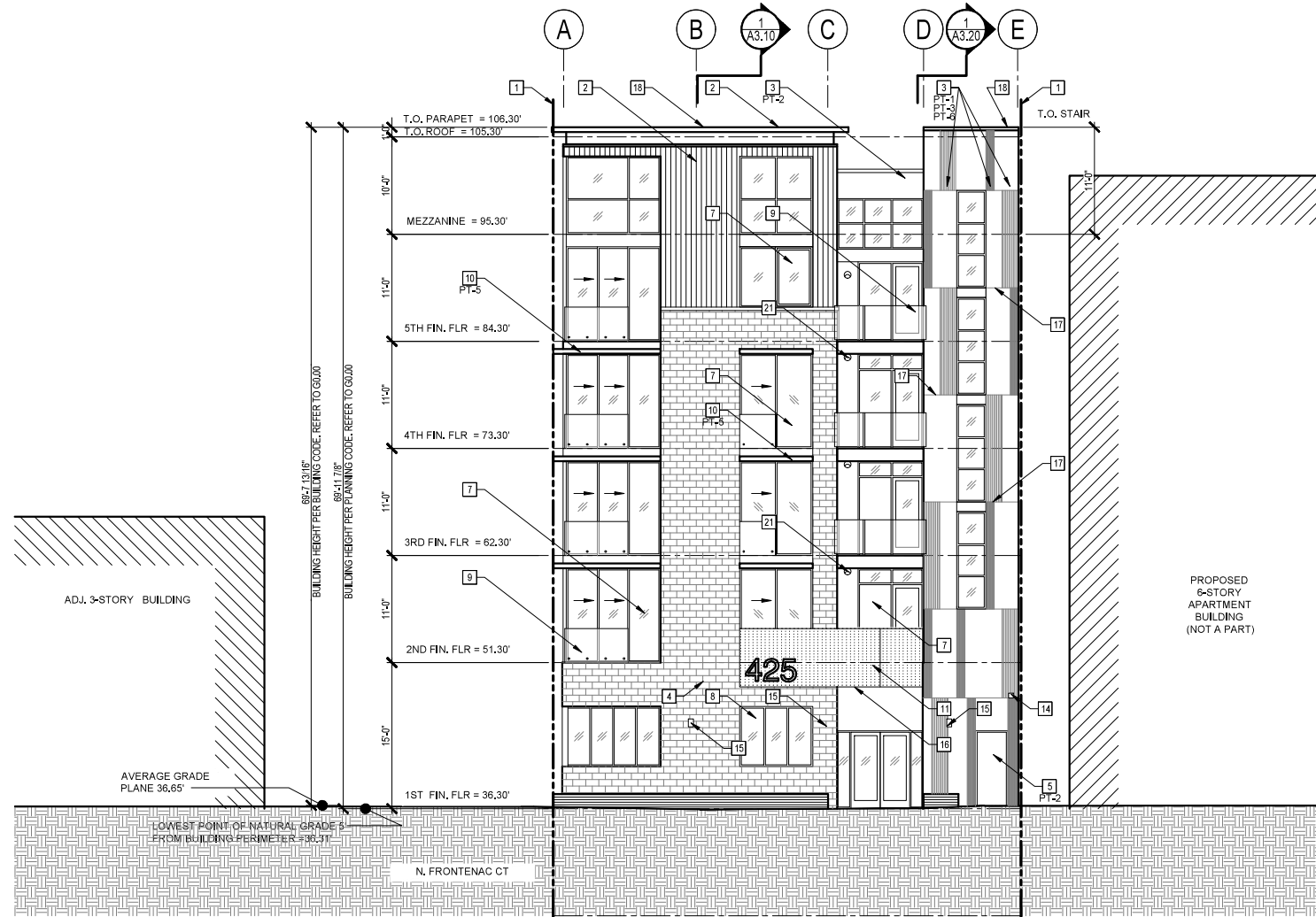
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SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

1



GENERAL NOTES:

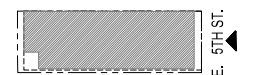
KEYNOTES:

LEGEND:

- 1 PROPERTY LINE SHOWN AS DASHED
- 2 METAL PANEL SIDING, ATAS INTERNATIONAL, TYPE: MULTI-PURPOSE PANELS, MODEL: 8" MPN, COLOR: 21 SLATE BLUE
- 3 FINE SAND STUCCO FINISH, PT-1, PT-2, PT-3, PT-4, PT-6
- 4 THIN LINE BRICK VENEER, YANKEE HILL, DOVE GRAY, SMOOTH
- 5 STEEL DOOR, PT-2
- 6 RECESSED VINYL WINDOW WITH CLEAR LOW-E-DUAL GLAZING, PT-4
- 7 ALUMINUM WINDOW, CLEAR ANODIZED, CLEAR GLASS, TYP.
- 8 ALUMINUM STOREFRONT GLAZING, CLEAR ANODIZED, CLEAR GLASS, TYP.
- 9 MIN. 42" HIGH GLASS GUARDRAIL, CLEAR GLASS, PT-4
- 10 METAL LOUVERED AWNING, PT-6
- 11 METAL CANOPY, CUSTOM PERFORATED PATTERN WITH ADDRESS NUMBERS, PT-6

- 12 STEEL COLLING GATE WITH SOLID AND MESH PANELS, PT-2
- 13 MIN. 42" HIGH METAL GUARDRAIL, 1-1/2" SQUARE TUBE FRAME, PT-4
- 14 TYP. SECURITY CAMERA
- 15 TYP. WALL MOUNTED EXTERIOR LIGHT
- 16 TYP. CEILING MOUNTED EXTERIOR CAN
- 17 CONTROL JOINTS
- 18 SHEET METAL EDGE FLASHING, EPT-6, REFER TO DETAIL 12/A7.07
- 19 STEEL GUARDRAILS, MIN. 42" HT, EPT-6, REFER TO DETAIL 3/A6.03, 4/A6.03
- 20 FRESH AIR INTAKE, SE|HO SFX, REFER TO MECH PLANS & DETAIL 2/A7.06 (10' MIN. CLR FROM EXHAUST VENT)
- 21 EXHAUST VENT SE|HO SFX, REFER TO MECH PLANS & DETAIL 2/A7.06 (3' CLR FROM ALL OPENINGS)

- PT-1 = DUNN EDWARDS - DEV991 "BOYSENBERRY SHADOW"
- PT-2 = DUNN EDWARDS - DE6361 "BABY SEAL"
- PT-3 = DUNN EDWARDS - DE6359 "SILVER SETTING"
- PT-4 = DUNN EDWARDS - DE6328 "ANCHOR GRAY"
- PT-5 = DUNN EDWARDS - DE5181 "GEORGIA CLAY"
- PT-6 = DUNN EDWARDS - DE5202 "DESERT SPICE"



SOUTH
ELEVATION

ISSUE DATE: 05.07.2018

A2.00



209 S. MARKET ST.
INGLEWOOD, CA. 90301
3 2 3 . 5 5 3 . 2 3 7 6

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CLIENT INFO:
VISTA MESA INVESTMENT GROUP, LLC,
1158 LAS PULGAS ROAD
PACIFIC PALISADES, CA

CONSULTANT LOGO:

E. 5TH ST.
APARTMENTS
425 E. 5TH ST.
LONG BEACH, CA 90802
PROJECT # 17010

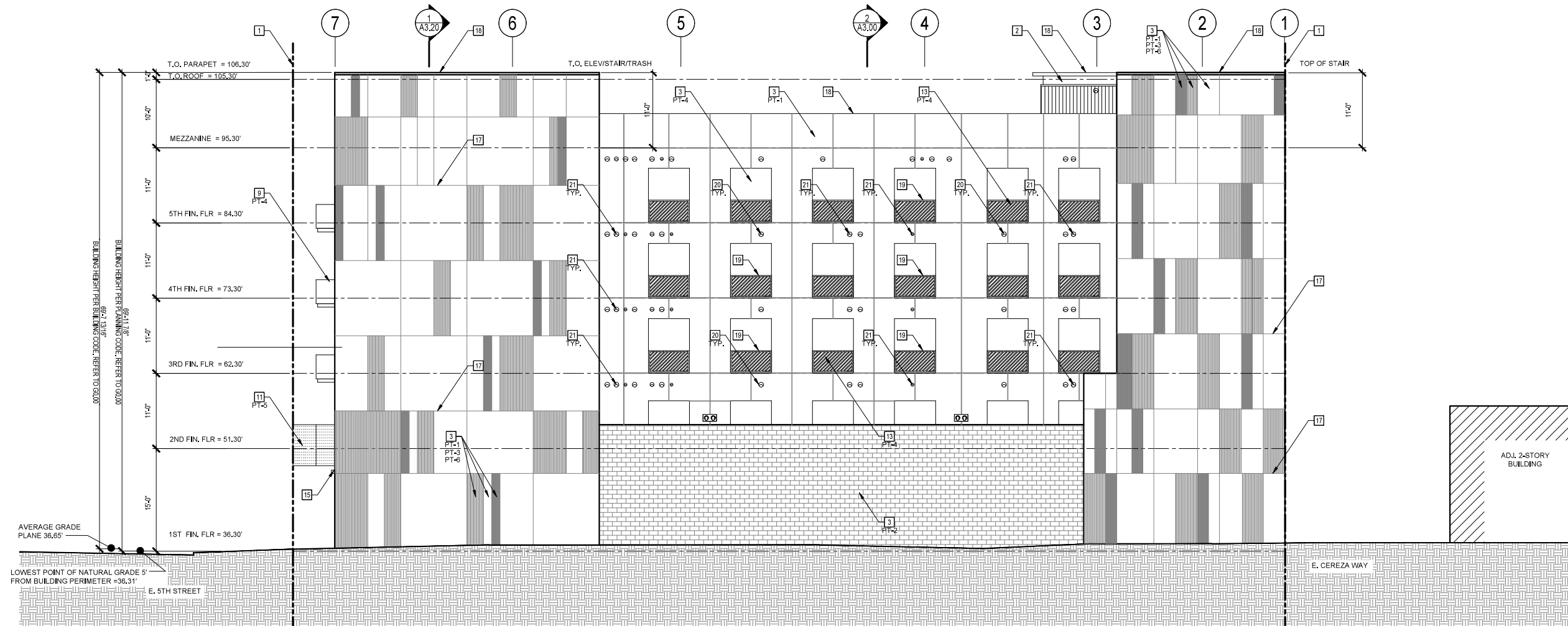
05.07.18
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STAMP:

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CONSTRUCTION

NO. ISSUES / REVISIONS DATE

NO.	ISSUES / REVISIONS	DATE



GENERAL NOTES:

KEYNOTES:

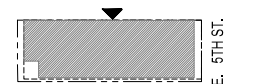
LEGEND:

EAST ELEVATION 1
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

- 1 PROPERTY LINE SHOWN AS DASHED
- 2 METAL PANEL SIDING, ATAS INTERNATIONAL TYPE: MULTI-PURPOSE PANELS, MODEL: 8" MPN, COLOR: 21 SLATE BLUE
- 3 FINE SAND STUCCO FINISH, PT-1, PT-2, PT-3, PT-4, PT-6
- 4 THIN LINE BRICK VENEER, YANKEE HILL, DOVE GRAY, SMOOTH
- 5 STEEL DOOR, PT-2
- 6 RECESSED VINYL WINDOW WITH CLEAR LOW-E-DUAL GLAZING, PT-4
- 7 ALUMINUM WINDOW, CLEAR ANODIZED, CLEAR GLASS, TYP.
- 8 ALUMINUM STOREFRONT GLAZING, CLEAR ANODIZED, CLEAR GLASS, TYP.
- 9 MIN. 42" HIGH GLASS GUARDRAIL, CLEAR GLASS, PT-4
- 10 METAL LOUVERED AWNING, PT-5
- 11 METAL CANOPY, CUSTOM PERFORATED PATTERN WITH ADDRESS NUMBERS, PT-5

- 12 STEEL COLLING GATE WITH SOLID AND MESH PANELS, PT-2
- 13 MIN. 42" HIGH METAL GUARDRAIL, 1-1/2" SQUARE TUBE FRAME, PT-4
- 14 TYP. SECURITY CAMERA
- 15 TYP. WALL MOUNTED EXTERIOR LIGHT
- 16 TYP. CEILING MOUNTED EXTERIOR CAN
- 17 CONTROL JOINTS
- 18 SHEET METAL EDGE FLASHING, EPT-6, REFER TO DETAIL 12/A7.07 4/A6.03
- 19 STEEL GUARDRAILS, MIN. 42" HT, EPT-6, REFER TO DETAIL 3/A6.03 4/A6.03
- 20 FRESH AIR INTAKE, SE|HO SFX, REFER TO MECH PLANS & DETAIL 2/A7.06 (1' MIN. CLR FROM EXHAUST VENT)
- 21 EXHAUST VENT SE|HO SFX, REFER TO MECH PLANS + DETAIL 2/A7.06 (3' CLR FROM ALL OPENINGS)

- PT-1 = DUNN EDWARDS - DEW391 "BOYSENBERRY SHADOW"
- PT-2 = DUNN EDWARDS - DE6361 "BABY SEAL"
- PT-3 = DUNN EDWARDS - DE6359 "SILVER SETTING"
- PT-4 = DUNN EDWARDS - DE6328 "ANCHOR GRAY"
- PT-5 = DUNN EDWARDS - DE5181 "GEORGIA CLAY"
- PT-6 = DUNN EDWARDS - DE5202 "DESERT SPICE"



EAST ELEVATION

ISSUE DATE: 05.07.2018

A2.10



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INGLEWOOD, CA. 90301
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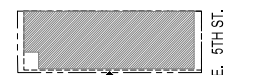
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PROJECT # 17010

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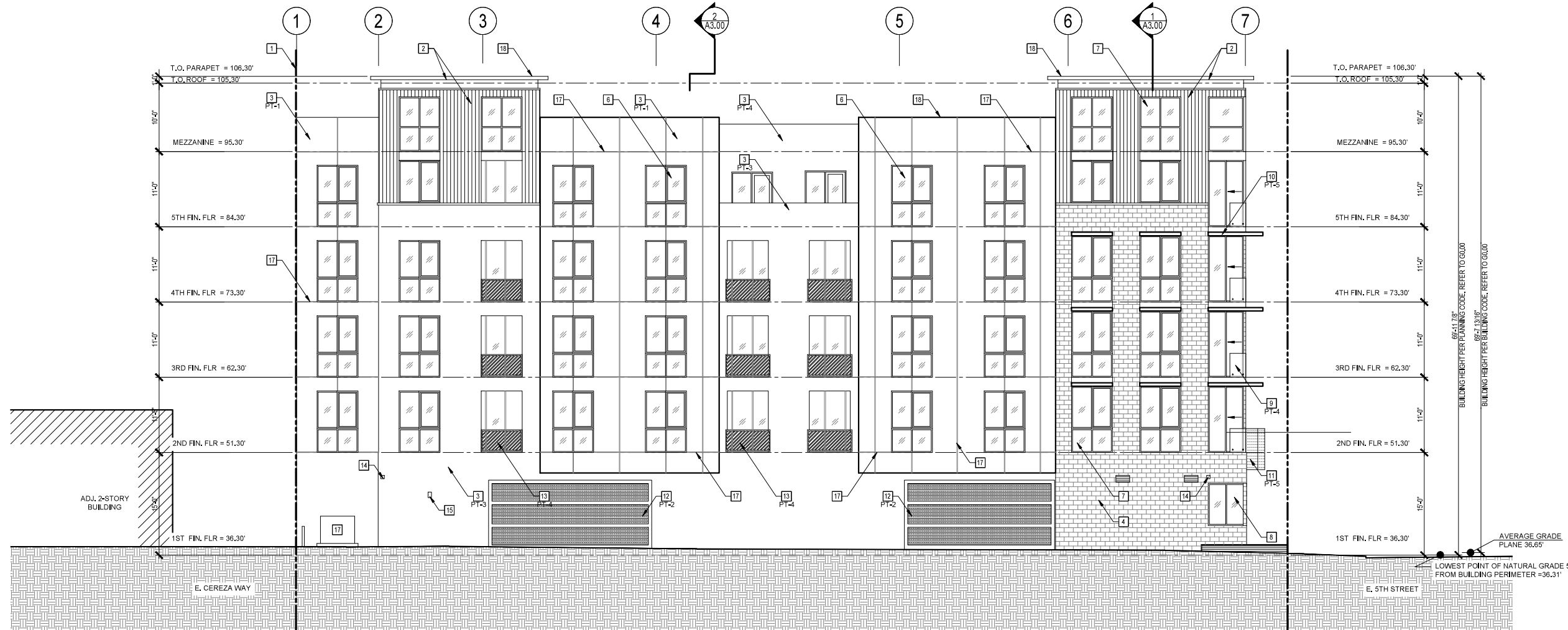
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WEST ELEVATION

ISSUE DATE: 05.07.2018

A2.20



GENERAL NOTES:

KEYNOTES:

LEGEND:

- | | | |
|---|--|---|
| <ul style="list-style-type: none"> 1 PROPERTY LINE SHOWN AS DASHED 2 METAL PANEL SIDING, ATAS INTERNATIONAL TYPE: MULTI-PURPOSE PANELS, MODEL: 8" MPN, COLOR: 21 SLATE BLUE 3 FINE SAND STUCCO FINISH, PT-1, PT-2, PT-3, PT-4, PT-6 4 THIN LINE BRICK VENEER, YANKEE HILL, DOVE GRAY, SMOOTH 5 STEEL DOOR, PT-2 6 RECESSED VINYL WINDOW WITH CLEAR LOW-E-GUARD GLAZING, PT-4 7 ALUMINUM WINDOW, CLEAR ANODIZED, CLEAR GLASS, TYP. 8 ALUMINUM STOREFRONT GLAZING, CLEAR ANODIZED, CLEAR GLASS, TYP. 9 MIN. 42" HIGH GLASS GUARDRAIL, CLEAR GLASS, PT-4 10 METAL LOUVERED AWNING, PT-5 11 METAL CANOPY, CUSTOM PERFORATED PATTERN WITH ADDRESS NUMBERS, PT-5 12 STEEL COLLING GATE WITH SOLID AND MESH PANELS, PT-2 | <ul style="list-style-type: none"> 13 MIN. 42" HIGH METAL GUARDRAIL, 1-1/2" SQUARE TUBE FRAME, PT-4 14 TYP. SECURITY CAMERA 15 TYP. WALL MOUNTED EXTERIOR LIGHT 16 TYP. CEILING MOUNTED EXTERIOR CAN 17 CONTROL JOINTS 18 SHEET METAL EDGE FLASHING, EPT-6, REFER TO DETAIL 12/A7.07 19 STEEL GUARDRAILS, MIN. 42" HT, EPT-6, REFER TO DETAIL 3/A6.03, 4/A6.03 20 FRESH AIR INTAKE, SE HO SFX, REFER TO MECH PLANS & DETAIL 2/A7.06 (10" MIN. CLR FROM EXHAUST VENT) 21 EXHAUST VENT SE HO SFX, REFER TO MECH PLANS + DETAIL 2/A7.06 (3' CLR FROM ALL OPENINGS) | <ul style="list-style-type: none"> PT-1 = DUNN EDWARDS - DEV981 "BOYSENBERRY SHADOW" PT-2 = DUNN EDWARDS - DE6361 "BABY SEAL" PT-3 = DUNN EDWARDS - DE6359 "SILVER SETTING" PT-4 = DUNN EDWARDS - DE6326 "ANCHOR GRAY" PT-5 = DUNN EDWARDS - DE5181 "GEORGIA CLAY" PT-6 = DUNN EDWARDS - DE5202 |
|---|--|---|

WEST ELEVATION
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

1



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INGLEWOOD, CA. 90301
3 2 3 . 5 5 3 . 2 3 7 6

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LONG BEACH, CA 90802
PROJECT # 17010

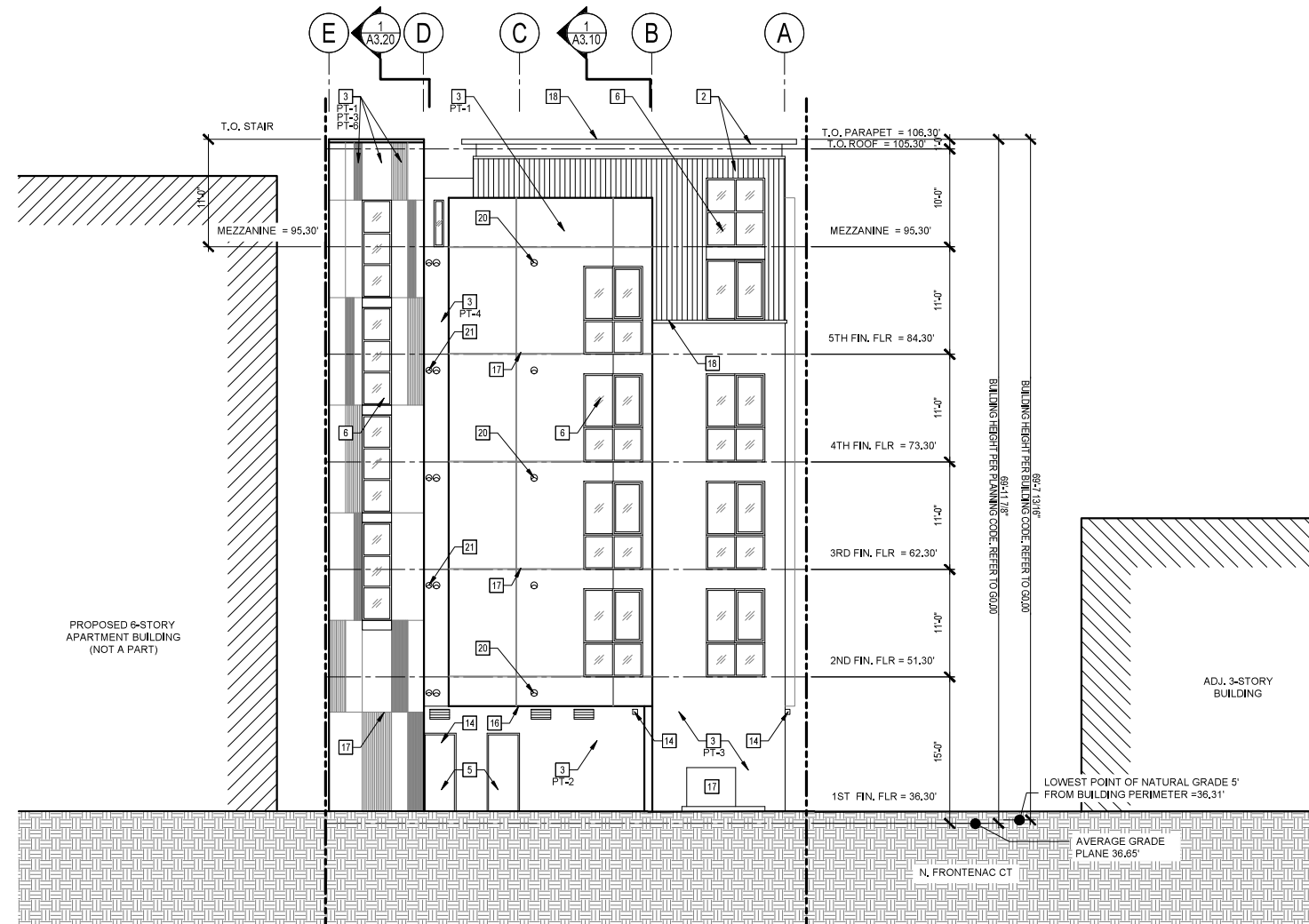
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NO.	ISSUES / REVISIONS	DATE



NORTH ELEVATION
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE) 1

GENERAL NOTES:

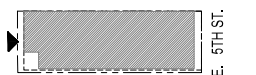
KEYNOTES:

LEGEND:

- 1 PROPERTY LINE SHOWN AS DASHED
- 2 METAL PANEL SIDING, ATAS INTERNATIONAL TYPE: MULTI-PURPOSE PANELS, MODEL: 8" MPN, COLOR: 21 SLATE BLUE
- 3 FINE SAND STUCCO FINISH, PT-1, PT-2, PT-3, PT-4, PT-6
- 4 THIN LINE BRICK VENEER, YANKEE HILL, DOVE GRAY, SMOOTH
- 5 STEEL DOOR, PT-2
- 6 RECESSED VINYL WINDOW WITH CLEAR LOW-E-DUAL GLAZING, PT-4
- 7 ALUMINUM WINDOW, CLEAR ANODIZED, CLEAR GLASS, TYP.
- 8 ALUMINUM STOREFRONT GLAZING, CLEAR ANODIZED, CLEAR GLASS, TYP.
- 9 MIN. 42" HIGH GLASS GUARDRAIL, CLEAR GLASS, PT-4
- 10 METAL LOUVERED AWNING, PT-5
- 11 METAL CANOPY, CUSTOM PERFORATED PATTERN WITH ADDRESS NUMBERS, PT-5
- 12 STEEL COLLING GATE WITH SOLID AND MESH PANELS, PT-2

- 13 MIN. 42" HIGH METAL GUARDRAIL, 1-1/2" SQUARE TUBE FRAME, PT-4
- 14 TYP. SECURITY CAMERA
- 15 TYP. WALL MOUNTED EXTERIOR LIGHT
- 16 TYP. CEILING MOUNTED EXTERIOR CAN
- 17 CONTROL JOINTS
- 18 SHEET METAL EDGE FLASHING, EPT-6, REFER TO DETAIL 12/A7.07
- 19 STEEL GUARDRAILS, MIN. 42" HT, EPT-6, REFER TO DETAIL 3/A6.03, 4/A6.03
- 20 FRESH AIR INTAKE, SE-HO SFX, REFER TO MECH PLANS & DETAIL 2/A7.06 (10" MIN. CLR FROM EXHAUST VENT)
- 21 EXHAUST VENT SE-HO SFX, REFER TO MECH PLANS & DETAIL 2/A7.06 (3' CLR FROM ALL OPENINGS)

- PT-1 = DUNN EDWARDS - DEW981 "BOYSENBERRY SHADOW"
- PT-2 = DUNN EDWARDS - DE6361 "BABY SEAL"
- PT-3 = DUNN EDWARDS - DE6359 "SILVER SETTING"
- PT-4 = DUNN EDWARDS - DE6328 "ANCHOR GRAY"
- PT-5 = DUNN EDWARDS - DE5181 "GEORGIA CLAY"
- PT-6 = DUNN EDWARDS - DE5202



NORTH
ELEVATION

ISSUE DATE: 05.07.2018

A2.30



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CONSULTANT LOGO:

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APARTMENTS
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LONG BEACH, CA 90802
PROJECT # 17010

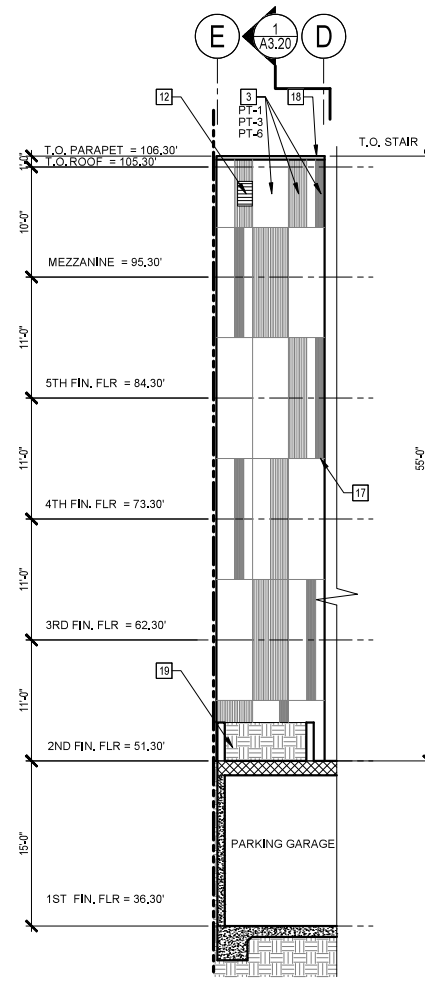
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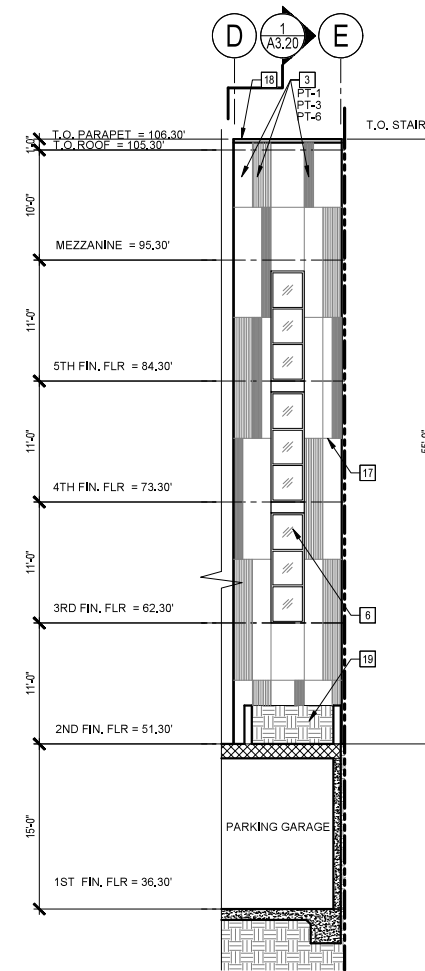
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NO. ISSUES / REVISIONS DATE

NO.	ISSUES / REVISIONS	DATE



SOUTH-FACING ELEVATION
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)



NORTH-FACING ELEVATION
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

GENERAL NOTES:

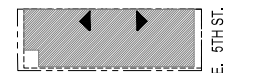
KEYNOTES:

LEGEND:

- 1 PROPERTY LINE SHOWN AS DASHED
- 2 METAL PANEL SIDING, ATAS INTERNATIONAL TYPE: MULTI-PURPOSE PANELS, MODEL: 8" MPN, COLOR: 21 SLATE BLUE
- 3 FINE SAND STUCCO FINISH, PT-1, PT-2, PT-3, PT-4, PT-6
- 4 THIN LINE BRICK VENEER, YANKEE HILL, DOVE GRAY, SMOOTH
- 5 STEEL DOOR, PT-2
- 6 RECESSED VINYL WINDOW WITH CLEAR LOW-E-DUAL GLAZING, PT-4
- 7 ALUMINUM WINDOW, CLEAR ANODIZED, CLEAR GLASS, TYP.
- 8 ALUMINUM STOREFRONT GLAZING, CLEAR ANODIZED, CLEAR GLASS, TYP.
- 9 MIN. 42" HIGH GLASS GUARDRAIL, CLEAR GLASS, PT-4
- 10 METAL LOUVERED AWNING, PT-6
- 11 METAL CANOPY, CUSTOM PERFORATED PATTERN WITH ADDRESS NUMBERS, PT-5
- 12 GARAGE DUCT VENT

- 13 MIN. 42" HIGH METAL GUARDRAIL, 1-1/2" SQUARE TUBE FRAME, PT-4
- 14 TYP. SECURITY CAMERA
- 15 TYP. WALL MOUNTED EXTERIOR LIGHT
- 16 TYP. CEILING MOUNTED EXTERIOR CAN
- 17 CONTROL JOINTS
- 18 SHEET METAL EDGE FLASHING, EPT-6, REFER TO DETAIL 12/A7.07
- 19 COURTYARD PLANTER
- 20 FRESH AIR INTAKE, SE:HO SFX, REFER TO MECH PLANS & DETAIL 2/A7.06(10' MIN. CLR FROM EXHAUST VENT)
- 21 EXHAUST VENT SE:HO SFX, REFER TO MECH PLANS & DETAIL 2/A7.06 (3' CLR FROM ALL OPENINGS)

- PT-1 = DUNN EDWARDS - DEW391 "BOYSENBERRY SHADOW"
- PT-2 = DUNN EDWARDS - DE6361 "BABY SEAL"
- PT-3 = DUNN EDWARDS - DE6359 "SILVER SETTING"
- PT-4 = DUNN EDWARDS - DE6328 "ANCHOR GRAY"
- PT-5 = DUNN EDWARDS - DE5181 "GEORGIA CLAY"
- PT-6 = DUNN EDWARDS - DE5202 "DESERT SPICE"

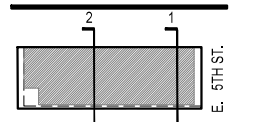


COURTYARD
ELEVATIONS

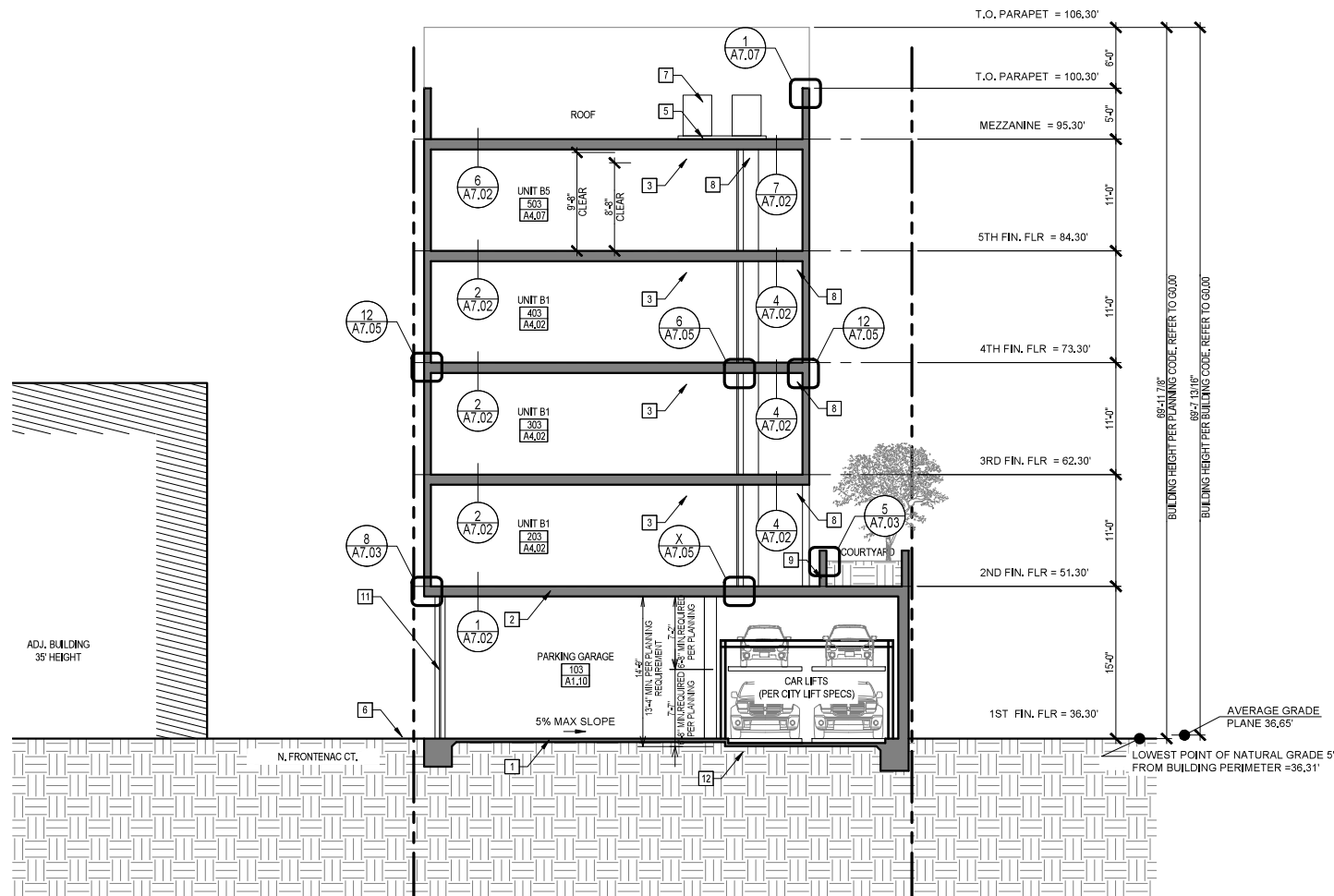
ISSUE DATE: 05.07.2018

A2.40

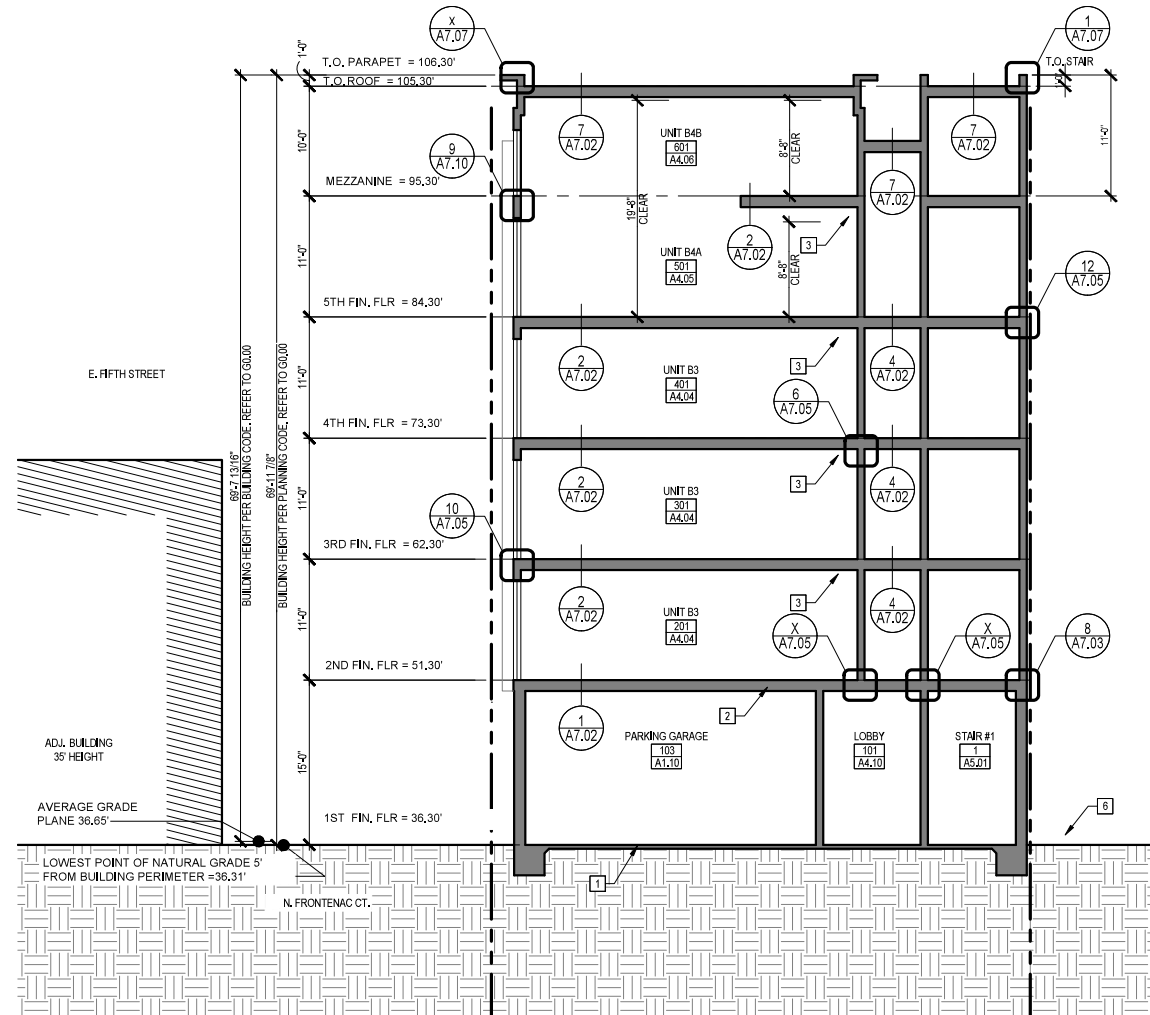
NO.	ISSUES / REVISIONS	DATE



SECTIONS



SECTIONS 2
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)



SECTIONS 1
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

GENERAL NOTES:

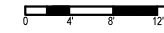
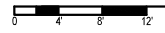
- DETAIL CALLOUTS FOR TYPICAL CONDITIONS ARE SHOWN OCCASIONALLY BUT APPLY TO ALL OCCURRENCES OF TYPICAL CONDITION.

KEYNOTES:

- | | |
|--|---|
| 1 CONG SLAB ON GRADE PER STRUCTURAL DRAWINGS | 11 METAL COILING GATE |
| 2 CONCRETE DECK REFER TO STRUCTURAL DRAWINGS FOR DETAILS | 12 CAR LIFT 4-1/2" DEEP PIT PER CITY LIFT PUZZLE PARKING PIT SPECIFICATIONS |
| 3 DROP CEILING, REFER TO ENLARGED REFLECTED CEILING PLAN | |
| 4 8'-2" HEADROOM CLEARANCE SHOWN DASHED | |
| 5 EQUIPMENT PAD, REFER TO 5/A7.07 MECHANICAL EQUIPMENT, REFER TO MECHANICAL DRAWINGS | |
| 6 (E) GRADE | |
| 7 MECHANICAL EQUIPMENT, REFER TO MECHANICAL DWGS | |
| 8 SOFFIT WITH EXTERIOR PLASTER FINISH & MTL STUD FRAMING | |
| 9 CMU PLANTER WALL ON DECK, REFER TO 5/A7.03, A1.21 AND CIVIL DWGS | |
| 10 MIN. 42" HIGH GUARDRAIL, PAINT FINISH PER 3/A6.03, 4/A6.03 | |

LEGEND:

- CONCRETE
- CMU
- CONCRETE DECK





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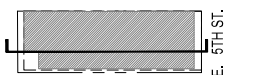
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LONG BEACH, CA 90802
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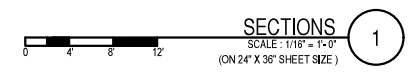
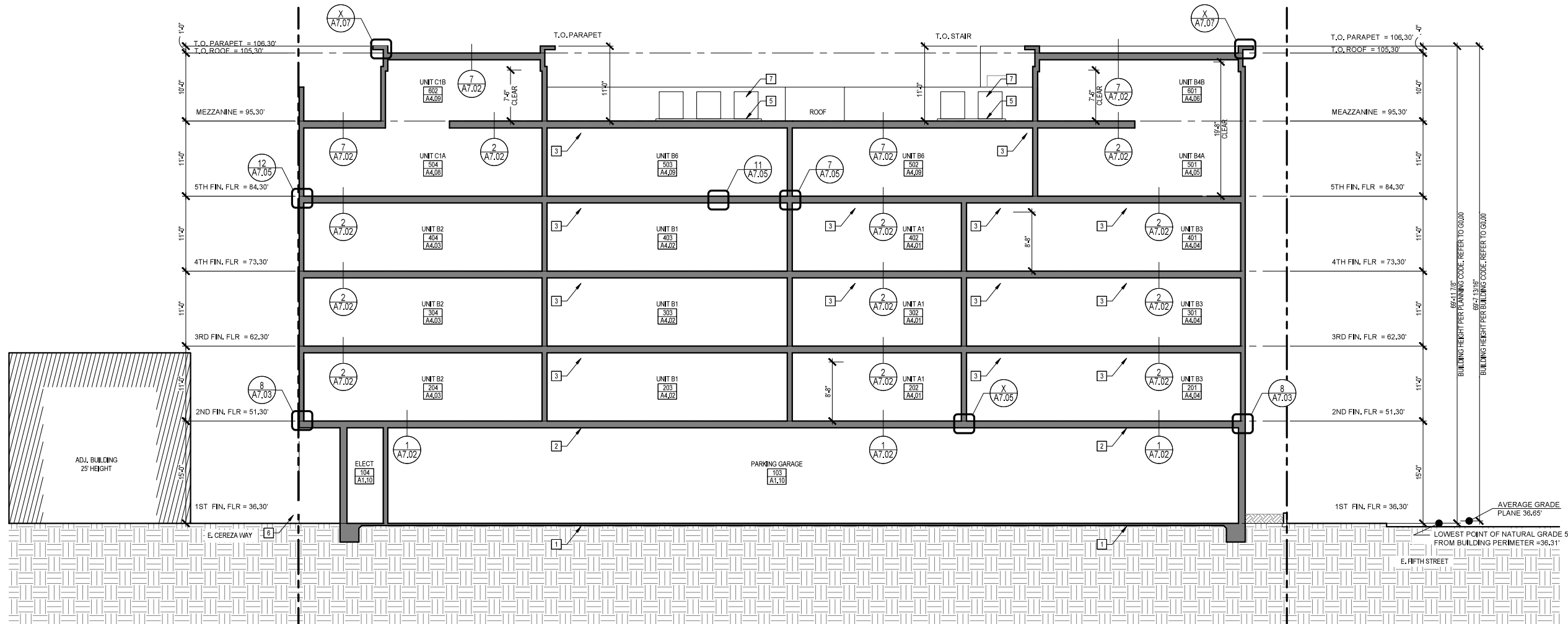
NO. ISSUES / REVISIONS DATE



SECTIONS

ISSUE DATE: 05.07.2018

A3.10



GENERAL NOTES:

- DETAIL CALLOUTS FOR TYPICAL CONDITIONS ARE SHOWN OCCASIONALLY BUT APPLY TO ALL OCCURRENCES OF TYPICAL CONDITION.

KEYNOTES:

- 1 CONG SLAB ON GRADE PER STRUCTURAL DRAWINGS
- 2 CONCRETE DECK REFER TO STRUCTURAL DRAWINGS FOR DETAILS
- 3 DROP CEILING, REFER TO ENLARGED REFLECTED CEILING PLAN
- 4 8'-2" HEADROOM CLEARANCE SHOWN DASHED
- 5 EQUIPMENT PAD, REFER TO 5/A7.07 MECHANICAL EQUIPMENT, REFER TO MECHANICAL DRAWINGS
- 6 (E) GRADE
- 7 MECHANICAL EQUIPMENT, REFER TO MECHANICAL DWGS

LEGEND:

- CONCRETE
- CMU
- CONCRETE DECK
- 2 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER



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AERO COLLECTIVE

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PACIFIC PALISADES, CA

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APARTMENTS
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LONG BEACH, CA 90802
PROJECT # 17010

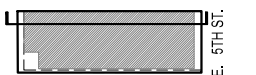
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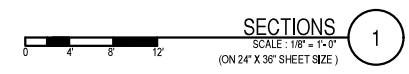
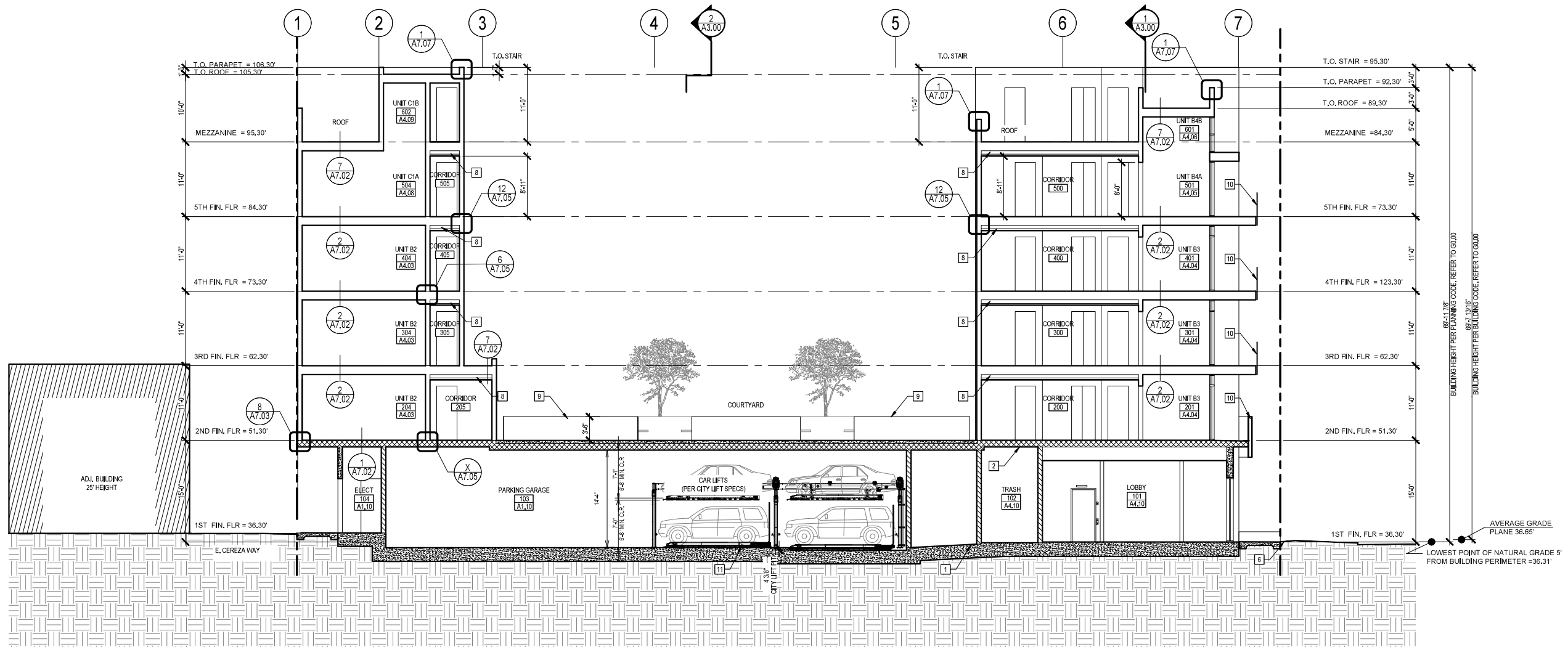
NO.	ISSUES / REVISIONS	DATE



SECTIONS

ISSUE DATE: 05.07.2018

A3.20



GENERAL NOTES:

● DETAIL CALLOUTS FOR TYPICAL CONDITIONS ARE SHOWN OCCASIONALLY BUT APPLY TO ALL OCCURRENCES OF TYPICAL CONDITION.

KEYNOTES:

- 1 CONC SLAB ON GRADE PER STRUCTURAL DRAWINGS
- 2 CONCRETE DECK REFER TO STRUCTURAL DRAWINGS FOR DETAILS
- 3 DROP CEILING, REFER TO ENLARGED REFLECTED CEILING PLAN
- 4 8'-2" HEADROOM CLEARANCE SHOWN DASHED
- 5 EQUIPMENT PAD, REFER TO 5/A7.07 MECHANICAL EQUIPMENT, REFER TO MECHANICAL DRAWINGS
- 6 (E) GRADE
- 7 MECHANICAL EQUIPMENT, REFER TO MECHANICAL DWGS
- 8 SOFFIT WITH EXTERIOR PLASTER FINISH & MTL STUD FRAMING
- 9 CMU PLANTER WALL ON DECK, REFER TO A1.20, A1.21, 5/A7.03, AND CIVIL DWGS
- 10 MIN. 42" HIGH GUARDRAIL, PAINT FINISH PER 3/A6.03, 4/A6.03
- 11 CAR LIFT 4-1/2" DEEP PIT PER CITY LIFT PUZZLE PARKING PIT SPECIFICATIONS

LEGEND:

- CONCRETE
- CMU
- CONCRETE DECK



209 S. MARKET ST.
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3 2 3 . 5 5 3 . 2 3 7 6

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1158 LAS PULGAS ROAD
PACIFIC PALISADES, CA

CONSULTANT LOGO:

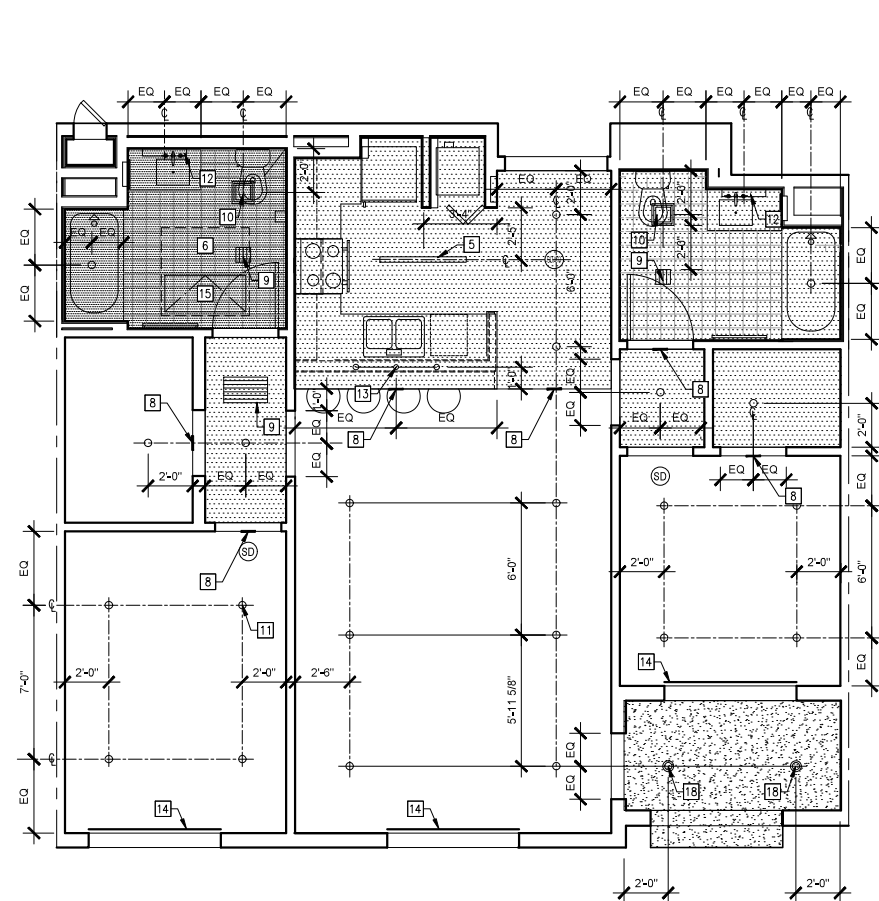
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A P A R T M E N T S
4 2 5 E A S T H S T .
L O N G B E A C H , C A 9 0 8 0 2
P R O J E C T # 1 7 0 1 0

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PLAN CHECK
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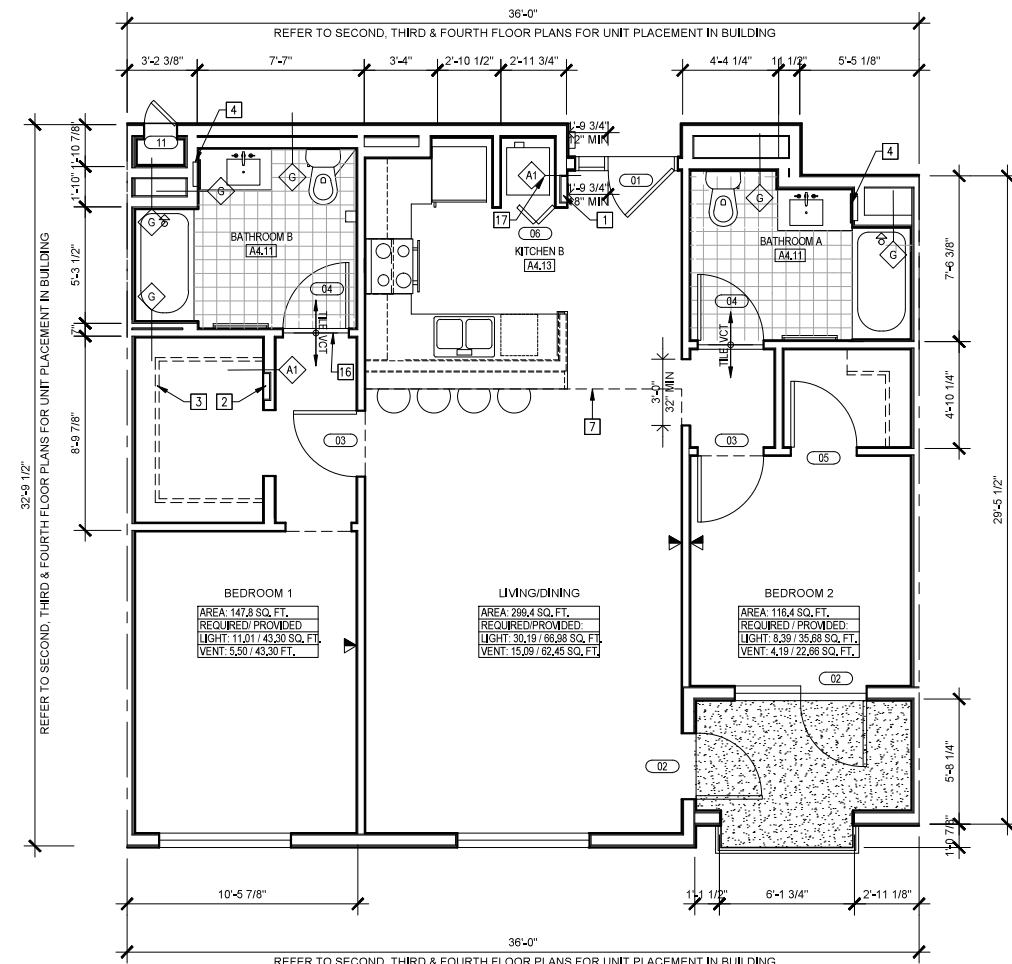
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NO. ISSUES / REVISIONS DATE



UNIT TYPE B1 - REFLECTED CEILING PLAN 2
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)



(1,053 SF/ OCCURS 3 TIMES) UNIT B1 - FLOOR PLAN 1
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)

GENERAL NOTES:

- SEE STRUCTURAL DWGS. FOR ADDITIONAL INFO
- SEE MECH/PLUMB/ELECT. DWGS. FOR ADDITIONAL INFO
- A MECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECTED TO THE OUTSIDE, IS REQUIRED. (CBC 1203.4.2.1)
- ONE OPENABLE WINDOW WITH AN OPENABLE AREA NOT LESS THAN 5.7 SQ. FT. MINIMUM CLEAR 24" HEIGHT AND 20" WIDTH, AND SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR IS REQUIRED IN ALL BEDROOMS BELOW THE FOURTH STORY AND BASEMENT. (CBC 1029)
- FOR EXTERIOR, DEMISING & CORRIDOR WALL TYPES REFER TO 1/8" SCALE FLOOR PLANS.
- PROVIDE FINISHED PANELS AT ALL EXPOSED CABINET SURFACES.
- REFER TO SHT G0.10 - G0.16 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- REFER TO 1/A7.11 FOR TYPICAL CABINET DETAIL
- REFER TO OVERALL 1/8" SCALE PLANS FOR WINDOW TYPES AND EXTERIOR DIMENSIONS.
- UNITS MAY BE MIRROR IMAGE ON 1/8" SCALE OVERALL PLAN.
- INTERIOR PARTITIONS TO BE WALL TYPE "A" U.N.O.
- PROVIDE CONSUMER INFORMATION IN EACH UNIT REFER TO CONSUMER INFORMATION ON G0.02.
- PROVIDE CONTINUOUS 5/8" TYPE "X" GYPSUM SHEATHING AT ALL TUB WALLS (BEHIND ONE PIECE TUB SURROUNDS) TO EXTEND FULL HEIGHT TO MAINTAIN 1-HR RATING.
- EACH APPLIANCE PROVIDED AND INSTALLED SHALL MEET ENERGY STAR IF AN ENERGY STAR DESIGNATION IS APPLICABLE FOR THAT APPLIANCE.
- WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATE SPECIFIED IN THE MAXIMUM ALLOWABLE FLOW RATE COLUMN CONTAINED IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.
- USE ADA COMPLIANT APPLIANCES
- AT ALL BATHROOMS PROVIDE WATERPROOFING SHEET MEMBRANE UNDER TILE AND EXTEND 4" UP PERIMETER WALLS.
- UNIT #303 IS PART OF 2% OF COVERED MULTIFAMILY APARTMENTS HOUSE DWELLING UNITS REQUIRED TO BE ACCESSIBLE. THESE UNITS SHALL COMPLY WITH 2010 ADA. REFER TO G0.10 FOR 2009 ADA NOTES.

KEYNOTES:

- ELECTRICAL PANEL, PROVIDE 2x8 FRAMING, REFER TO ELECTRICAL DRAWINGS
- PROPOSED LOCATION FOR LOW VOLTAGE COMMUNICATION CABINET
- SHELF AND POLE, REFER TO DETAIL 14/G0.14
- RECESSED MEDICINE WALL CABINET
- SUSPENDED 4FT LINEAR FLOURESCENT LIGHT
- FAN COIL UNIT
- LINE OF SOFFIT SHOWN CONTINUOUS OR SOFFIT ABOVE SHOWN DASHED, REFER TO DETAIL 1/A7.12
- SIDEWALL REGISTER, REFER TO MECHANICAL DRAWINGS
- CEILING REGISTER, REFER TO MECHANICAL DRAWINGS
- COMBINATION EXHAUST FAN/LIGHT. PLASTIC FANS NOT PERMITTED
- LITHONAL LIGHTING, LED LOW PROFILE ROUND 4" CAN LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE 2 ARM W/ 14" DROP HEIGHT
- VERTICAL BLINDS CEILING MOUNTED TRACK
- CEILING ACCESS PANEL, REFER TO MECHANICAL DRAWINGS
- MARBLE THRESHOLD
- WASHER/DRYER
- EXTERIOR CAN LIGHT FIXTURE
- 4" ADJUSTABLE EYEBALL CAN LIGHT FIXTURE
- NOT USED

LEGEND:

- SOFFIT @ 8'-2" AFF. U.N.O REFER TO DETAIL X/A7.XX
- SOFFIT @ 8'-8" AFF. U.N.O REFER TO DETAIL X/A7.XX
- CEILING REGISTER
- WALL REGISTER
- SMOKE DETECTOR/HARDWIRED W. BATTERY BACKUP TYP. CARBON MONOXIDE/SMOKE DETECTOR
- * 5% UNITS IS DEFINED HEREIN AS DESIGNATED UNITS WITH ADDITIONAL ACCESSIBILITY REQUIREMENTS
- WALL TYPE DESIGNATIONS, REFER TO A7.01
- LITHONAL LIGHTING, LED LOW PROFILE ROUND CAN LIGHT FIXTURE
- FLOURESCENT FIXTURE
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- EXTERIOR CAN LIGHT FIXTURE
- TV LOCATION / DATA



UNIT TYPE B1
PLAN & RCP

ISSUE DATE: 05.07.2018

A4.02



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1158 LAS PULGAS ROAD
PACIFIC PALISADES, CA

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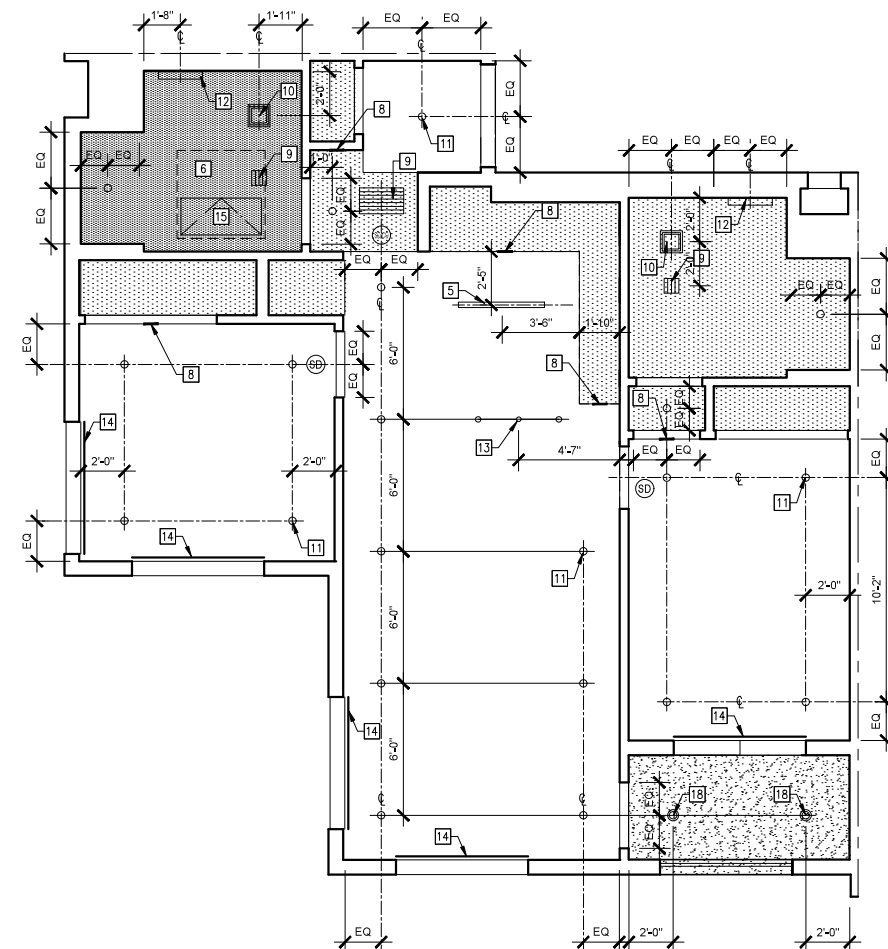
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A P A R T M E N T S
4 2 5 E A S T H S T
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P R O J E C T # 1 7 0 1 0

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PLAN CHECK
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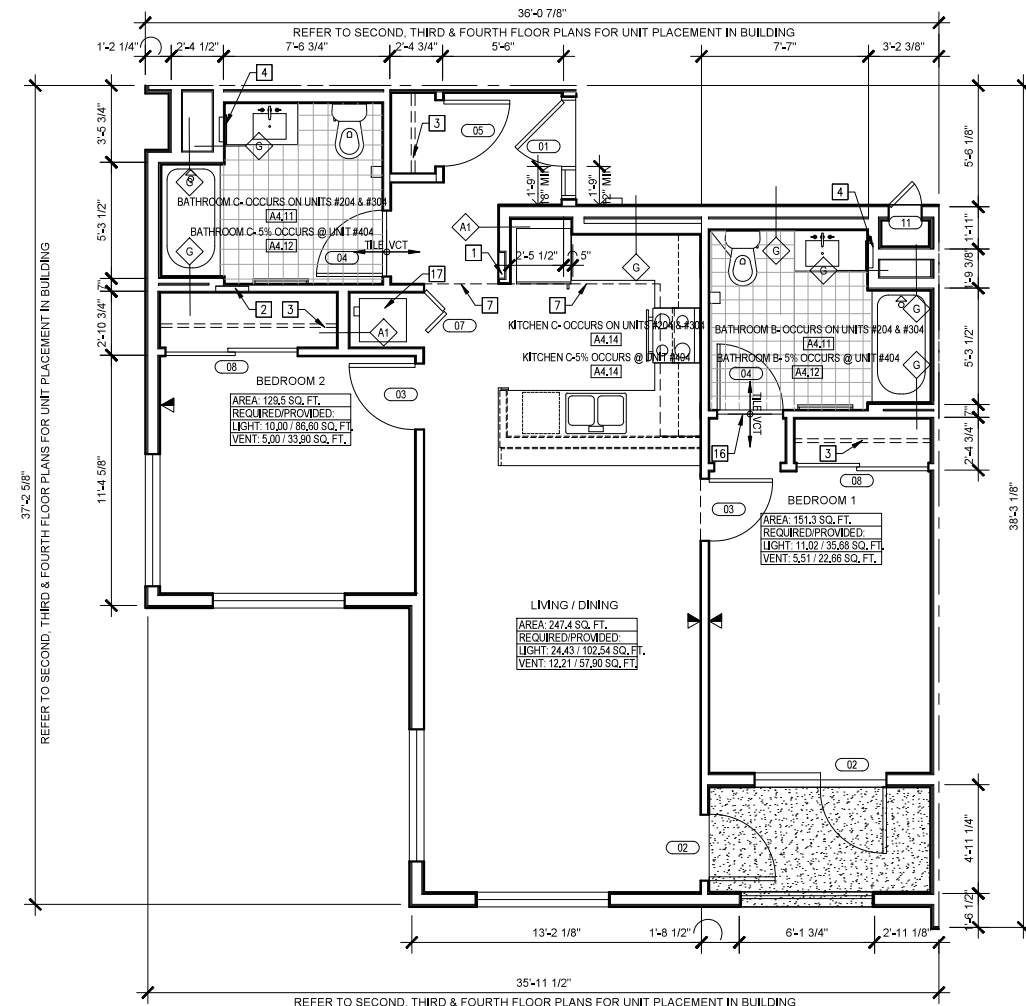
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CONSTRUCTION

NO. ISSUES / REVISIONS DATE



UNIT TYPE B2 - REFLECTED CEILING PLAN (2)
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)



(972 SF / OCCURS 3 TIMES) UNIT B2 - FLOOR PLAN (1)
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)

GENERAL NOTES:

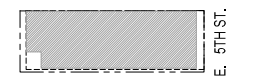
- SEE STRUCTURAL DWGS. FOR ADDITIONAL INFO
- SEE MECH/PLUMB/ELECT. DWGS. FOR ADDITIONAL INFO
- A MECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECTED TO THE OUTSIDE, IS REQUIRED. (CBC 1203.4.2.1)
- ONE OPENABLE WINDOW WITH AN OPENABLE AREA NOT LESS THAN 5.7 SQ. FT. MINIMUM CLEAR 24" HEIGHT AND 20" WIDTH, AND SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR IS REQUIRED IN ALL BEDROOMS BELOW THE FOURTH STORY AND BASEMENT. (CBC 1029)
- FOR EXTERIOR, DEMISING & CORRIDOR WALL TYPES REFER TO 1/8" SCALE FLOOR PLANS.
- PROVIDE FINISHED PANELS AT ALL EXPOSED CABINET SURFACES.
- REFER TO SHT G0.10 - G0.16 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- REFER TO 1/A7.11 FOR TYPICAL CABINET DETAIL
- REFER TO OVERALL 1/8" SCALE PLANS FOR WINDOW TYPES AND EXTERIOR DIMENSIONS.
- UNITS MAY BE MIRROR IMAGE ON 1/8" SCALE OVERALL PLAN.
- INTERIOR PARTITIONS TO BE WALL TYPE "A" U.N.O.
- PROVIDE CONSUMER INFORMATION IN EACH UNIT REFER TO CONSUMER INFORMATION ON G0.02.
- PROVIDE CONTINUOUS 5/8" TYPE "X" GYPSUM SHEATHING AT ALL TUB WALLS (BEHIND ONE PIECE TUB SURROUNDS) TO EXTEND FULL HEIGHT TO MAINTAIN 1-HR RATING.
- EACH APPLIANCE PROVIDED AND INSTALLED SHALL MEET ENERGY STAR IF AN ENERGY STAR DESIGNATION IS APPLICABLE FOR THAT APPLIANCE.
- WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATE SPECIFIED IN THE MAXIMUM ALLOWABLE FLOW RATE COLUMN CONTAINED IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.
- USE ADA COMPLIANT APPLIANCES
- AT ALL BATHROOMS PROVIDE WATERPROOFING SHEET MEMBRANE UNDER TILE AND EXTEND 4" UP PERIMETER WALLS.
- UNIT #404 IS PART OF 5% OF COVERED MULTIFAMILY APARTMENTS' HOUSE DWELLING UNITS REQUIRED TO BE ACCESSIBLE, THESE UNITS SHALL COMPLY WITH 2010 ADA. REFER TO G0.10 FOR 2009 ADA NOTES.

KEYNOTES:

- ELECTRICAL PANEL, PROVIDE 2x8 FRAMING, REFER TO ELECTRICAL DRAWINGS
- PROPOSED LOCATION FOR LOW VOLTAGE COMMUNICATION CABINET
- SHELF AND POLE, REFER TO DETAIL 14/G0.14
- RECESSED MEDICINE WALL CABINET
- SUSPENDED 4FT LINEAR FLOURESCENT LIGHT
- FAN COIL UNIT
- LINE OF SOFFIT SHOWN CONTINUOUS OR SOFFIT ABOVE SHOWN DASHED, REFER TO DETAIL 1/A7.12
- SIDEWALL REGISTER, REFER TO MECHANICAL DRAWINGS
- CEILING REGISTER, REFER TO MECHANICAL DRAWINGS
- COMBINATION EXHAUST FAN/LIGHT, PLASTIC FANS NOT PERMITTED
- LITHONAL LIGHTING, LED LOW PROFILE ROUND 4" CAN LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE 2 ARM W/ 14" DROP HEIGHT
- VERTICAL BLINDS CEILING MOUNTED TRACK
- CEILING ACCESS PANEL, REFER TO MECHANICAL DRAWINGS
- MARBLE THRESHOLD
- WASHER/DRYER
- EXTERIOR CAN LIGHT FIXTURE
- 4" ADJUSTABLE EYEBALL CAN LIGHT FIXTURE
- NOT USED

LEGEND:

- SOFFIT @ 8'-2" AFF. U.N.O REFER TO DETAIL X/A7.XX
- SOFFIT @ 8'-8" AFF. U.N.O REFER TO DETAIL X/A7.XX
- CEILING REGISTER
- WALL REGISTER
- SMOKE DETECTOR/HARDWIRED W. BATTERY BACKUP TYP. CARBON MONOXIDE/SMOKE DETECTOR
- * "5% UNITS" IS DEFINED HEREIN AS DESIGNATED UNITS WITH ADDITIONAL ACCESSIBILITY REQUIREMENTS
- WALL TYPE DESIGNATIONS, REFER TO A7.01
- LITHONAL LIGHTING, LED LOW PROFILE ROUND CAN LIGHT FIXTURE
- FLOURESCENT FIXTURE
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- EXTERIOR CAN LIGHT FIXTURE
- TV LOCATION / DATA



UNIT TYPE B2
PLAN & RCP

ISSUE DATE: 05.07.2018

A4.03



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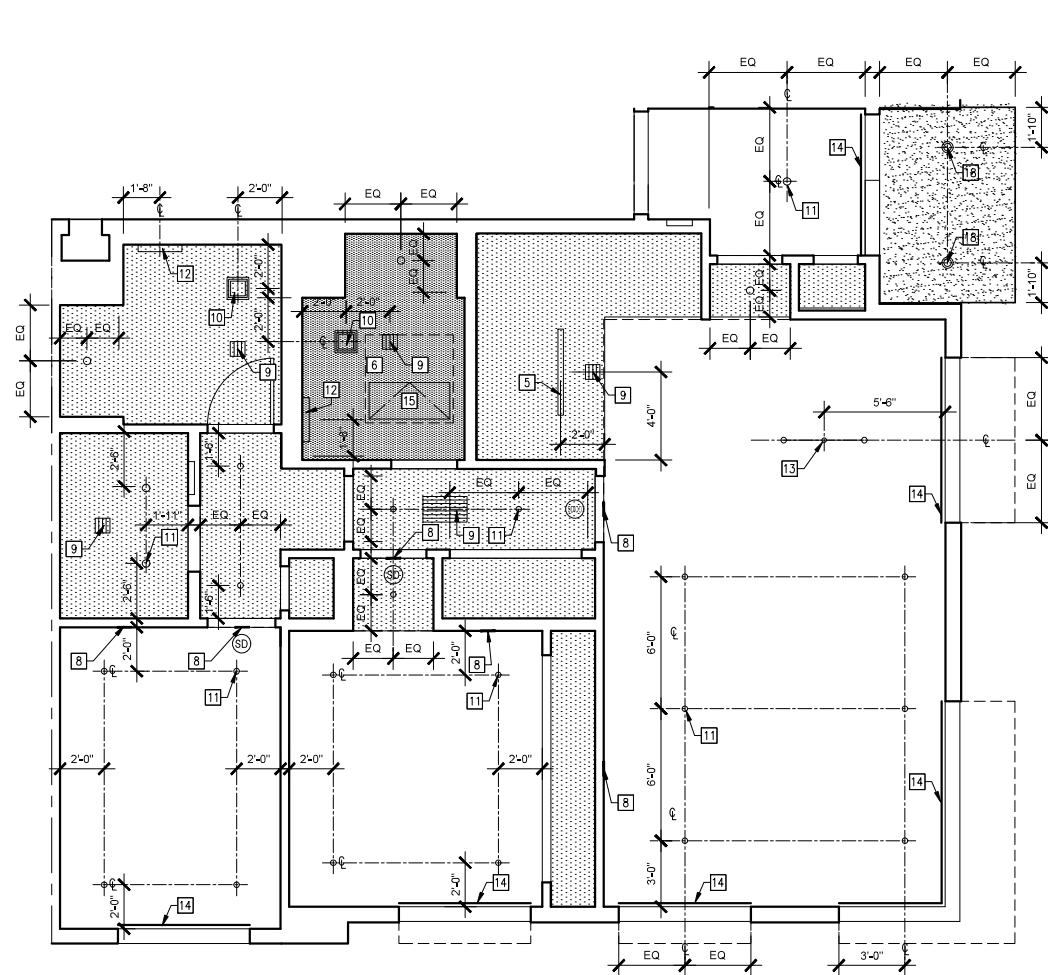
E. 5TH STS.
APARTMENTS
425 E. 5TH ST.
LONG BEACH, CA 90802
PROJECT # 17010

05.07.18
PLAN CHECK
SUBMITTAL

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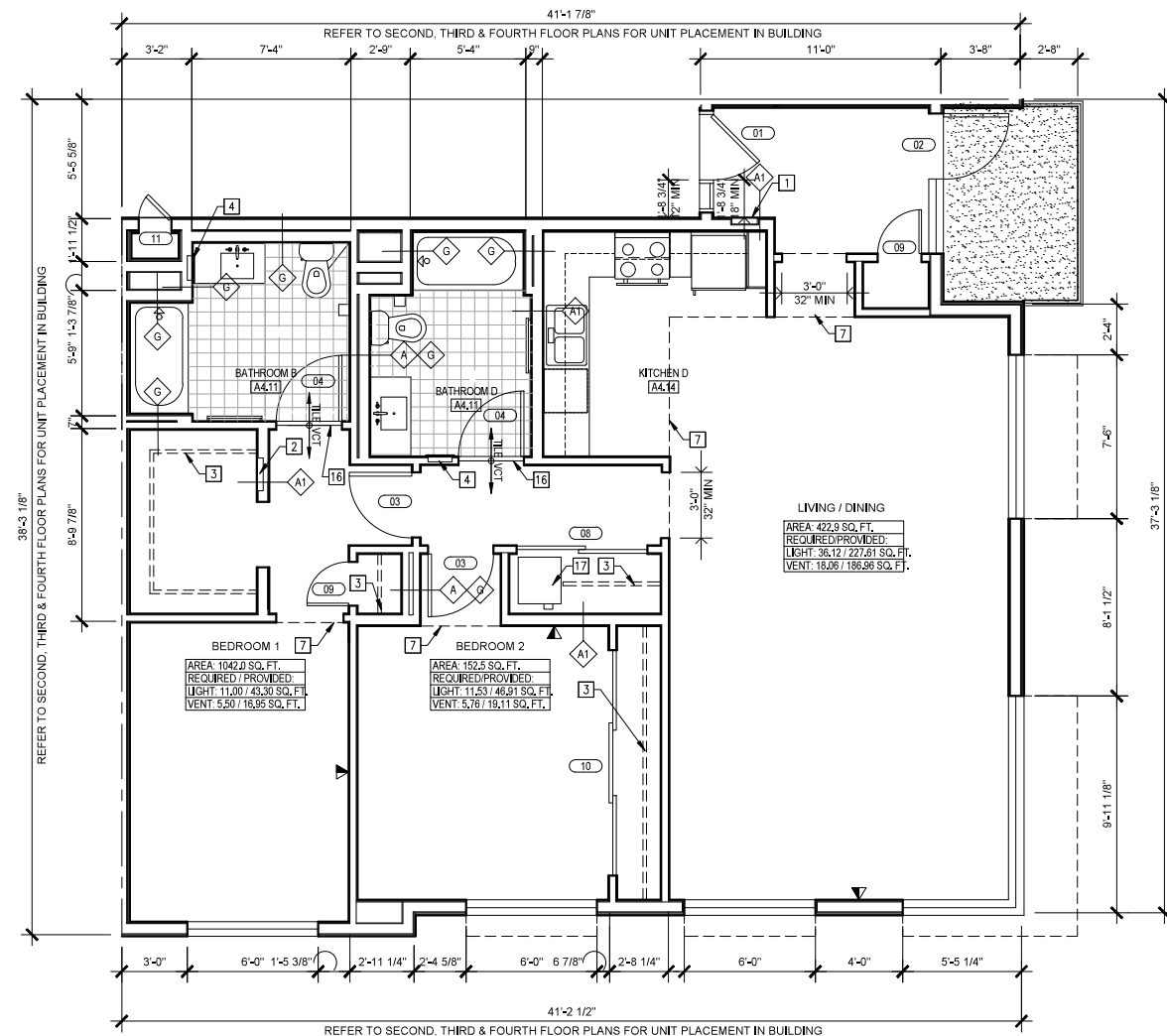
NO. ISSUES / REVISIONS DATE



UNIT TYPE B3 - REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)

2



(1,311 SF/ OCCURS 3 TIMES) UNIT B3 - FLOOR PLAN

SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)

1

GENERAL NOTES:

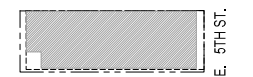
- SEE STRUCTURAL DWGS. FOR ADDITIONAL INFO
- SEE MECH/PLUMB/ELECT. DWGS. FOR ADDITIONAL INFO
- A MECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECTED TO THE OUTSIDE, IS REQUIRED. (CBC 1203.4.2.1)
- ONE OPENABLE WINDOW WITH AN OPENABLE AREA NOT LESS THAN 5.7 SQ. FT. MINIMUM CLEAR 24" HEIGHT AND 20" WIDTH, AND SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR IS REQUIRED IN ALL BEDROOMS BELOW THE FOURTH STORY AND BASEMENT. (CBC 1029)
- FOR EXTERIOR, DEMISING & CORRIDOR WALL TYPES REFER TO 1/8" SCALE FLOOR PLANS.
- PROVIDE FINISHED PANELS AT ALL EXPOSED CABINET SURFACES.
- REFER TO SHT G0.10 - G0.16 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- REFER TO 1/A7.11 FOR TYPICAL CABINET DETAIL
- REFER TO OVERALL 1/8" SCALE PLANS FOR WINDOW TYPES AND EXTERIOR DIMENSIONS.
- UNITS MAY BE MIRROR IMAGE ON 1/8" SCALE OVERALL PLAN.
- INTERIOR PARTITIONS TO BE WALL TYPE "A" U.N.O.
- PROVIDE CONSUMER INFORMATION IN EACH UNIT. REFER TO CONSUMER INFORMATION ON G002.
- PROVIDE CONTINUOUS 5/8" TYPE "X" GYPSUM SHEATHING AT ALL TUB WALLS (BEHIND ONE PIECE TUB SURROUNDS) TO EXTEND FULL HEIGHT TO MAINTAIN 1-HR RATING.
- EACH APPLIANCE PROVIDED AND INSTALLED SHALL MEET ENERGY STAR IF AN ENERGY STAR DESIGNATION IS APPLICABLE FOR THAT APPLIANCE.
- WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATE SPECIFIED IN THE MAXIMUM ALLOWABLE FLOW RATE COLUMN CONTAINED IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.
- USE ADA COMPLIANT APPLIANCES
- AT ALL BATHROOMS PROVIDE WATERPROOFING SHEET MEMBRANE UNDER TILE AND EXTEND 4" UP PERIMETER WALLS.

KEYNOTES:

- ELECTRICAL PANEL, PROVIDE 2x8 FRAMING, REFER TO ELECTRICAL DRAWINGS
- PROPOSED LOCATION FOR LOW VOLTAGE COMMUNICATION CABINET
- SHELF AND POLE, REFER TO DETAIL 14/G0.14
- RECESSED MEDICINE WALL CABINET
- SUSPENDED 4FT LINEAR FLOURESCENT LIGHT
- FAN COIL UNIT
- LINE OF SOFFIT SHOWN CONTINUOUS OR SOFFIT ABOVE SHOWN DASHED, REFER TO DETAIL 1/A7.12
- SIDEWALL REGISTER, REFER TO MECHANICAL DRAWINGS
- CEILING REGISTER, REFER TO MECHANICAL DRAWINGS
- COMBINATION EXHAUST FAN/LIGHT. PLASTIC FANS NOT PERMITTED
- LITHONAL LIGHTING, LED LOW PROFILE ROUND 4" CAN LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE 2 ARM W/ 14" DROP HEIGHT
- VERTICAL BLINDS CEILING MOUNTED TRACK
- CEILING ACCESS PANEL, REFER TO MECHANICAL DRAWINGS
- MARBLE THRESHOLD
- WASHER/DRYER
- EXTERIOR CAN LIGHT FIXTURE
- 4" ADJUSTABLE EYEBALL CAN LIGHT FIXTURE
- NOT USED

LEGEND:

- SOFFIT @ 8'-2" AFF. U.N.O REFER TO DETAIL X/A7.XX
- SOFFIT @ 8'-8" AFF. U.N.O REFER TO DETAIL X/A7.XX
- CEILING REGISTER
- WALL REGISTER
- SMOKE DETECTOR/HARDWIRED W. BATTERY BACK-UP TYP. CARBON MONOXIDE/SMOKE DETECTOR
- * "5% UNITS" IS DEFINED HEREIN AS DESIGNATED UNITS WITH ADDITIONAL ACCESSIBILITY REQUIREMENTS
- WALL TYPE DESIGNATIONS, REFER TO A7.01
- LITHONAL LIGHTING, LED LOW PROFILE ROUND CAN LIGHT FIXTURE
- FLOURESCENT FIXTURE
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- EXTERIOR CAN LIGHT FIXTURE
- TV LOCATION / DATA



UNIT TYPE B3
PLAN & RCP

ISSUE DATE: 05.07.2018

A4.04



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PACIFIC PALISADES, CA

CONSULTANT LOGO:

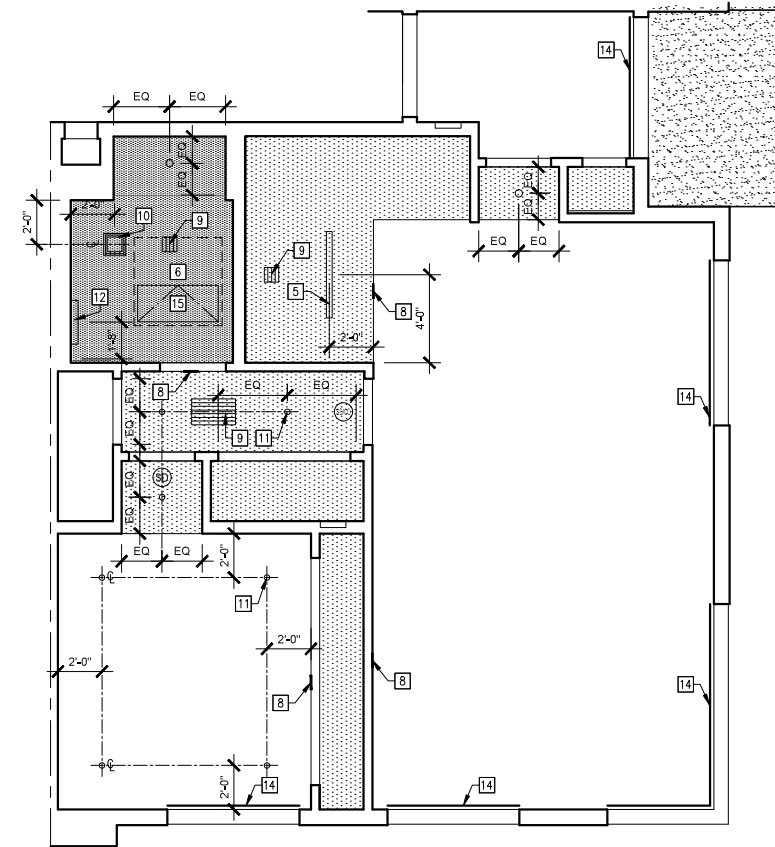
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A P A R T M E N T S
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05.07.18
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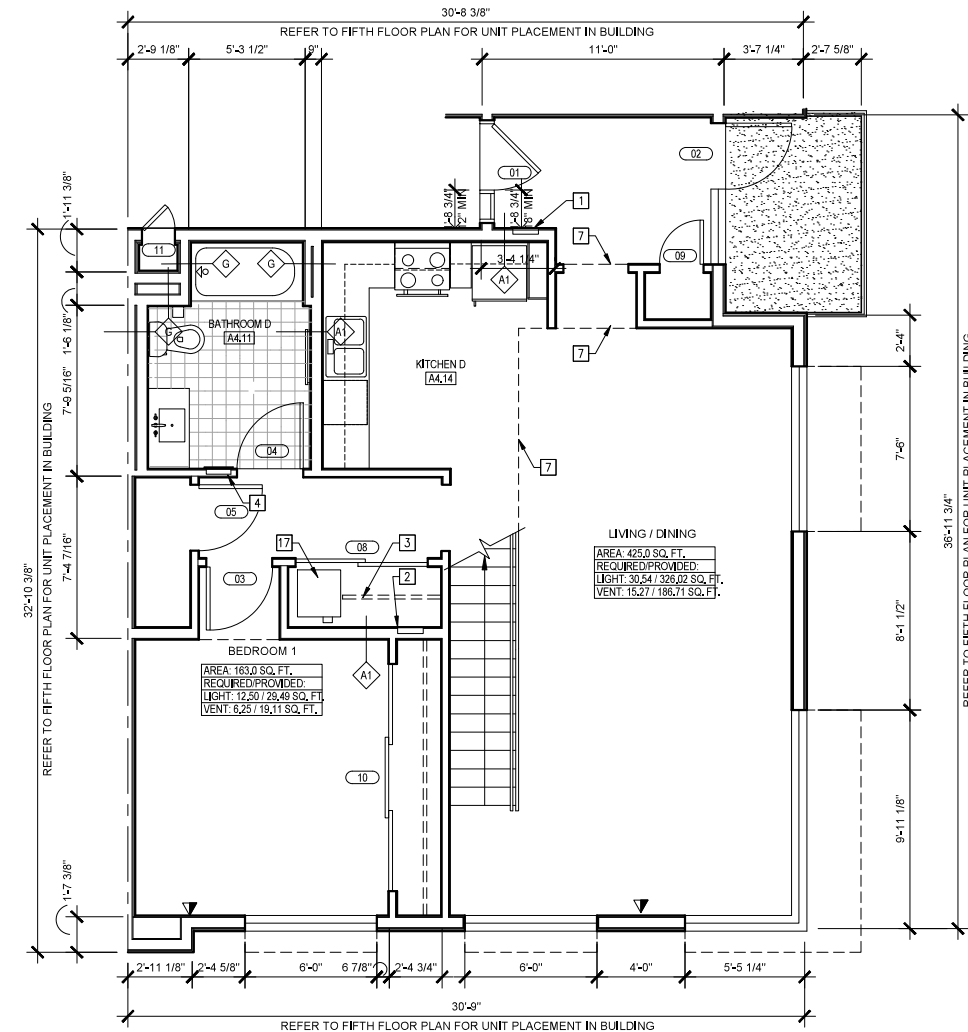
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UNIT TYPE B4A - REFLECTED CEILING PLAN (2)
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)



(977 SF/ OCCURS 1 TIME) UNIT B4A - FLOOR PLAN (1)
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)

GENERAL NOTES:

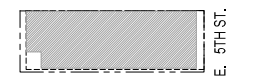
- SEE STRUCTURAL DWGS. FOR ADDITIONAL INFO
- SEE MECH/PLUMB/ELECT. DWGS. FOR ADDITIONAL INFO
- A MECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECTED TO THE OUTSIDE, IS REQUIRED. (CBC 1203.4.2.1)
- ONE OPENABLE WINDOW WITH AN OPENABLE AREA NOT LESS THAN 5.7 SQ. FT. MINIMUM CLEAR 24" HEIGHT AND 20" WIDTH, AND SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR IS REQUIRED IN ALL BEDROOMS BELOW THE FOURTH STORY AND BASEMENT. (CBC 1029)
- FOR EXTERIOR, DEMISING & CORRIDOR WALL TYPES REFER TO 1/8" SCALE FLOOR PLANS.
- PROVIDE FINISHED PANELS AT ALL EXPOSED CABINET SURFACES.
- REFER TO SHT G0.10 - G0.16 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- REFER TO 1/A7.11 FOR TYPICAL CABINET DETAIL
- REFER TO OVERALL 1/8" SCALE PLANS FOR WINDOW TYPES AND EXTERIOR DIMENSIONS.
- UNITS MAY BE MIRROR IMAGE ON 1/8" SCALE OVERALL PLAN.
- INTERIOR PARTITIONS TO BE WALL TYPE "A" U.N.O.
- PROVIDE CONSUMER INFORMATION IN EACH UNIT REFER TO CONSUMER INFORMATION ON G002.
- PROVIDE CONTINUOUS 5/8" TYPE "X" GYPSUM SHEATHING AT ALL TUB WALLS (BEHIND ONE PIECE TUB SURROUNDS) TO EXTEND FULL HEIGHT TO MAINTAIN 1-HR RATING.
- EACH APPLIANCE PROVIDED AND INSTALLED SHALL MEET ENERGY STAR IF AN ENERGY STAR DESIGNATION IS APPLICABLE FOR THAT APPLIANCE.
- WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATE SPECIFIED IN THE MAXIMUM ALLOWABLE FLOW RATE COLUMN CONTAINED IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.
- USE ADA COMPLIANT APPLIANCES
- AT ALL BATHROOMS PROVIDE WATERPROOFING SHEET MEMBRANE UNDER TILE AND EXTEND 4" UP PERIMETER WALLS.

KEYNOTES:

- ELECTRICAL PANEL, PROVIDE 2x8 FRAMING, REFER TO ELECTRICAL DRAWINGS
- PROPOSED LOCATION FOR LOW VOLTAGE COMMUNICATION CABINET
- SHELF AND POLE, REFER TO DETAIL 14/G0.14
- RECESSED MEDICINE WALL CABINET
- SUSPENDED 4FT LINEAR FLOURESCENT LIGHT
- FAN COIL UNIT
- LINE OF SOFFIT SHOWN CONTINUOUS OR SOFFIT ABOVE SHOWN DASHED, REFER TO DETAIL 1/A7.12
- SIDEWALL REGISTER, REFER TO MECHANICAL DRAWINGS
- CEILING REGISTER, REFER TO MECHANICAL DRAWINGS
- COMBINATION EXHAUST FAN/LIGHT, PLASTIC FANS NOT PERMITTED
- LITHONAL LIGHTING, LED LOW PROFILE ROUND 4" CAN LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE 2 ARM W/ 14" DROP HEIGHT
- VERTICAL BLINDS CEILING MOUNTED TRACK
- MARBLE THRESHOLD
- WASHER/DRYER
- EXTERIOR CAN LIGHT FIXTURE
- 4" ADJUSTABLE EYEBALL CAN LIGHT FIXTURE
- NOT USED

LEGEND:

- SOFFIT @ 8'-2" AFF. U.N.O REFER TO DETAIL X/A7.XX
- SOFFIT @ 8'-8" AFF. U.N.O REFER TO DETAIL X/A7.XX
- CEILING REGISTER
- WALL REGISTER
- SMOKE DETECTOR/HARDWIRED W. BATTERY BACKUP TYP. CARBON MONOXIDE/SMOKE DETECTOR
- * "5" UNITS" IS DEFINED HEREIN AS DESIGNATED UNITS WITH ADDITIONAL ACCESSIBILITY REQUIREMENTS
- WALL TYPE DESIGNATIONS, REFER TO A7.01
- LITHONAL LIGHTING, LED LOW PROFILE ROUND CAN LIGHT FIXTURE
- FLOURESCENT FIXTURE
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- EXTERIOR CAN LIGHT FIXTURE
- TV LOCATION / DATA



UNIT TYPE B4A
PLAN & RCP

ISSUE DATE: 05.07.2018

A4.05



209 S. MARKET ST.
INGLEWOOD, CA. 90301
3 2 3 . 5 5 3 . 2 3 7 6

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CLIENT INFO:
VISTA MESA INVESTMENT GROUP, LLC.
1158 LAS PULGAS ROAD
PACIFIC PALISADES, CA

CONSULTANT LOGO:

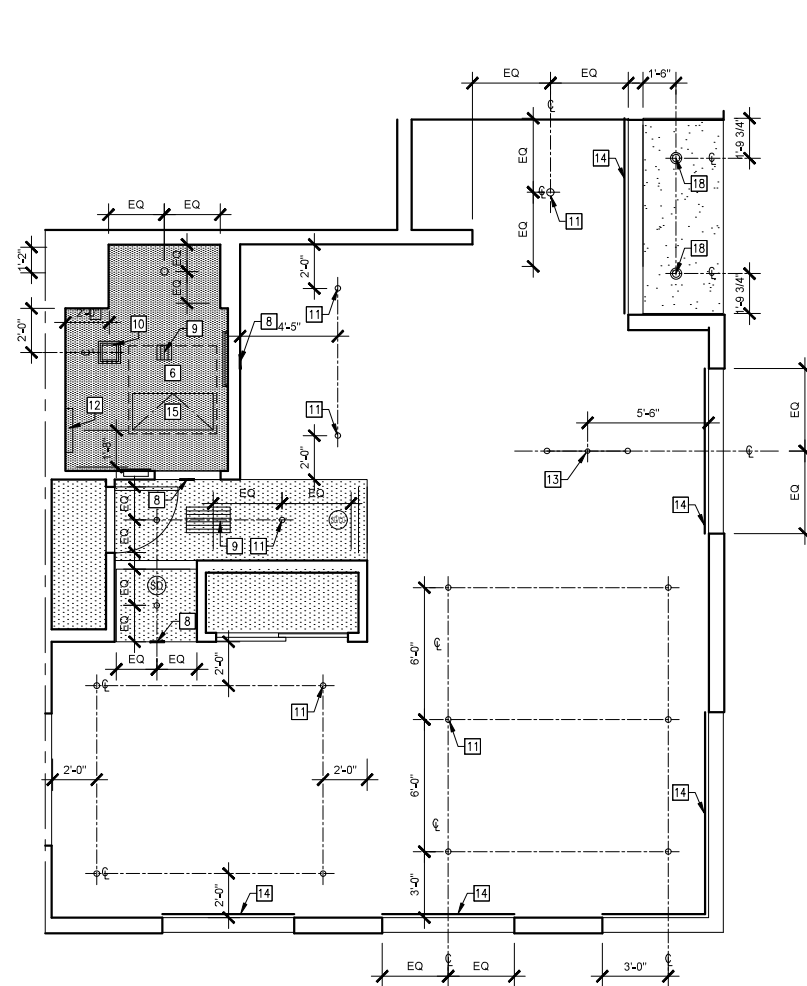
E. 5TH ST.
APARTMENTS
425 E. 5TH ST.
LONG BEACH, CA 90802
PROJECT # 17010

05.07.18
PLAN CHECK
SUBMITTAL

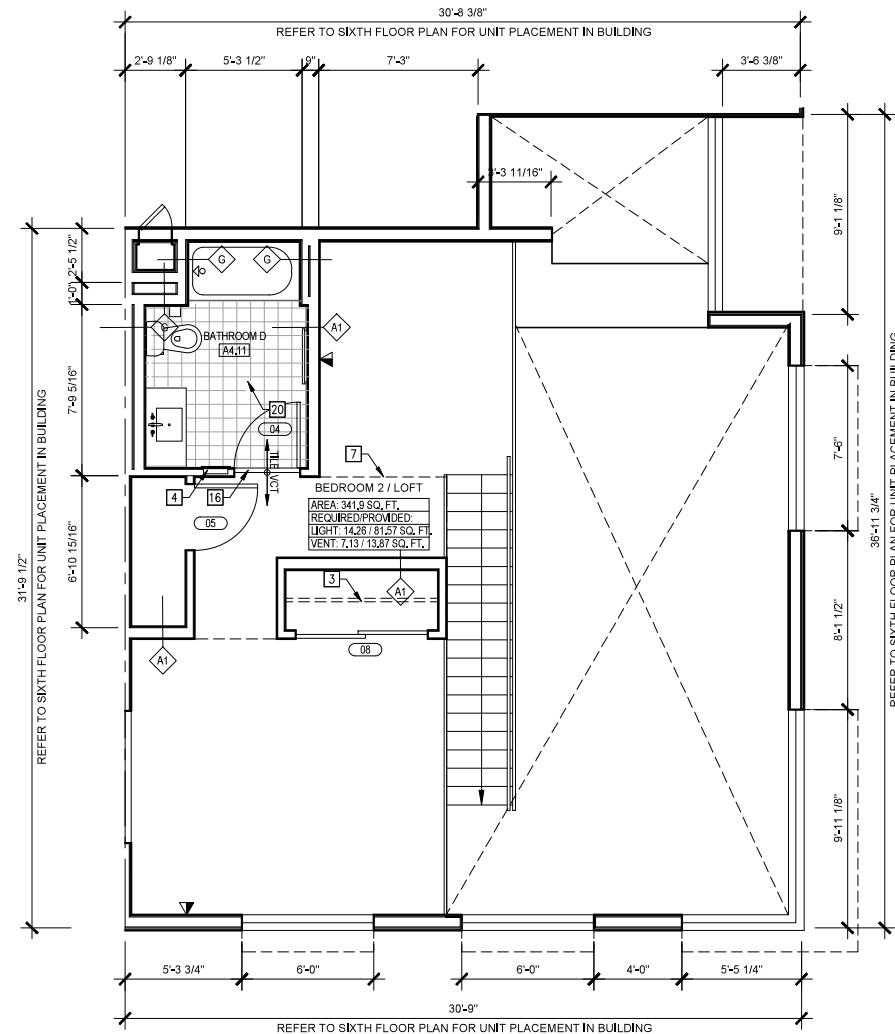
STAMP:

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CONSTRUCTION

NO. ISSUES / REVISIONS DATE



UNIT TYPE B4B - REFLECTED CEILING PLAN 2
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)



(479 SF / OCCURS 1 TIME) UNIT B4B - FLOOR PLAN 1
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)

GENERAL NOTES:

- SEE STRUCTURAL DWGS. FOR ADDITIONAL INFO
- SEE MECH/PLUMB/ELECT. DWGS. FOR ADDITIONAL INFO
- A MECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECTED TO THE OUTSIDE, IS REQUIRED. (CBC 1203.4.2.1)
- ONE OPENABLE WINDOW WITH AN OPENABLE AREA NOT LESS THAN 5.7 SQ. FT. MINIMUM CLEAR 24" HEIGHT AND 20" WIDTH, AND SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR IS REQUIRED IN ALL BEDROOMS BELOW THE FOURTH STORY AND BASEMENT. (CBC 1029)
- FOR EXTERIOR, DEMISING & CORRIDOR WALL TYPES REFER TO 1/8" SCALE FLOOR PLANS.
- PROVIDE FINISHED PANELS AT ALL EXPOSED CABINET SURFACES.
- REFER TO SHT G0.10 - G0.16 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- REFER TO 1/A7.11 FOR TYPICAL CABINET DETAIL
- REFER TO OVERALL 1/8" SCALE PLANS FOR WINDOW TYPES AND EXTERIOR DIMENSIONS.
- UNITS MAY BE MIRROR IMAGE ON 1/8" SCALE OVERALL PLAN.
- INTERIOR PARTITIONS TO BE WALL TYPE "A" U.N.O.
- PROVIDE CONSUMER INFORMATION IN EACH UNIT REFER TO CONSUMER INFORMATION ON G002.
- PROVIDE CONTINUOUS 5/8" TYPE "X" GYPSUM SHEATHING AT ALL TUB WALLS (BEHIND ONE PIECE TUB SURROUNDS) TO EXTEND FULL HEIGHT TO MAINTAIN 1-HR RATING.
- EACH APPLIANCE PROVIDED AND INSTALLED SHALL MEET ENERGY STAR IF AN ENERGY STAR DESIGNATION IS APPLICABLE FOR THAT APPLIANCE.
- WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATE SPECIFIED IN THE MAXIMUM ALLOWABLE FLOW RATE COLUMN CONTAINED IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.
- USE ADA COMPLIANT APPLIANCES
- AT ALL BATHROOMS PROVIDE WATERPROOFING SHEET MEMBRANE UNDER TILE AND EXTEND 4" UP PERIMETER WALLS.

KEYNOTES:

- ELECTRICAL PANEL, PROVIDE 2x8 FRAMING. REFER TO ELECTRICAL DRAWINGS
- PROPOSED LOCATION FOR LOW VOLTAGE COMMUNICATION CABINET
- SHELF AND POLE. REFER TO DETAIL 14/G0.14
- RECESSED MEDICINE WALL CABINET
- SUSPENDED 4FT LINEAR FLOURESCENT LIGHT
- FAN COIL UNIT
- LINE OF SOFFIT SHOWN CONTINUOUS OR SOFFIT ABOVE SHOWN DASHED. REFER TO DETAIL 1/A7.12
- SIDEWALL REGISTER. REFER TO MECHANICAL DRAWINGS
- CEILING REGISTER. REFER TO MECHANICAL DRAWINGS
- COMBINATION EXHAUST FAN/LIGHT. PLASTIC FANS NOT PERMITTED
- LITHONAL LIGHTING, LED LOW PROFILE ROUND 4" CAN LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE 2 ARM W/ 14" DROP HEIGHT
- VERTICAL BLINDS CEILING MOUNTED TRACK
- CEILING ACCESS PANEL, REFER TO MECHANICAL DRAWINGS
- MARBLE THRESHOLD
- WASHER/DRYER
- EXTERIOR CAN LIGHT FIXTURE
- 4" ADJUSTABLE EYEBALL CAN LIGHT FIXTURE
- BATHROOM FLOOR DRAIN

LEGEND:

- SOFFIT @ 8'-2" AFF. U.N.O REFER TO DETAIL X/A7.XX
- SOFFIT @ 8'-8" AFF. U.N.O REFER TO DETAIL X/A7.XX
- CEILING REGISTER
- WALL REGISTER
- SMOKE DETECTOR/HARDWIRED W. BATTERY BACKUP TYP. CARBON MONOXIDE/SMOKE DETECTOR
- "5% UNITS" IS DEFINED HEREIN AS DESIGNATED UNITS WITH ADDITIONAL ACCESSIBILITY REQUIREMENTS
- WALL TYPE DESIGNATIONS, REFER TO A7.01
- LITHONAL LIGHTING, LED LOW PROFILE ROUND CAN LIGHT FIXTURE
- FLOURESCENT FIXTURE
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- EXTERIOR CAN LIGHT FIXTURE
- TV LOCATION / DATA



UNIT TYPE B4B
PLAN & RCP

ISSUE DATE: 05.07.2018

A4.06



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INGLEWOOD, CA. 90301
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PACIFIC PALISADES, CA

CONSULTANT LOGO:

E. 5 T H S T S .
A P A R T M E N T S
4 2 5 E A S T H S T .
L O N G B E A C H , C A 9 0 8 0 2
P R O J E C T # 1 7 0 1 0

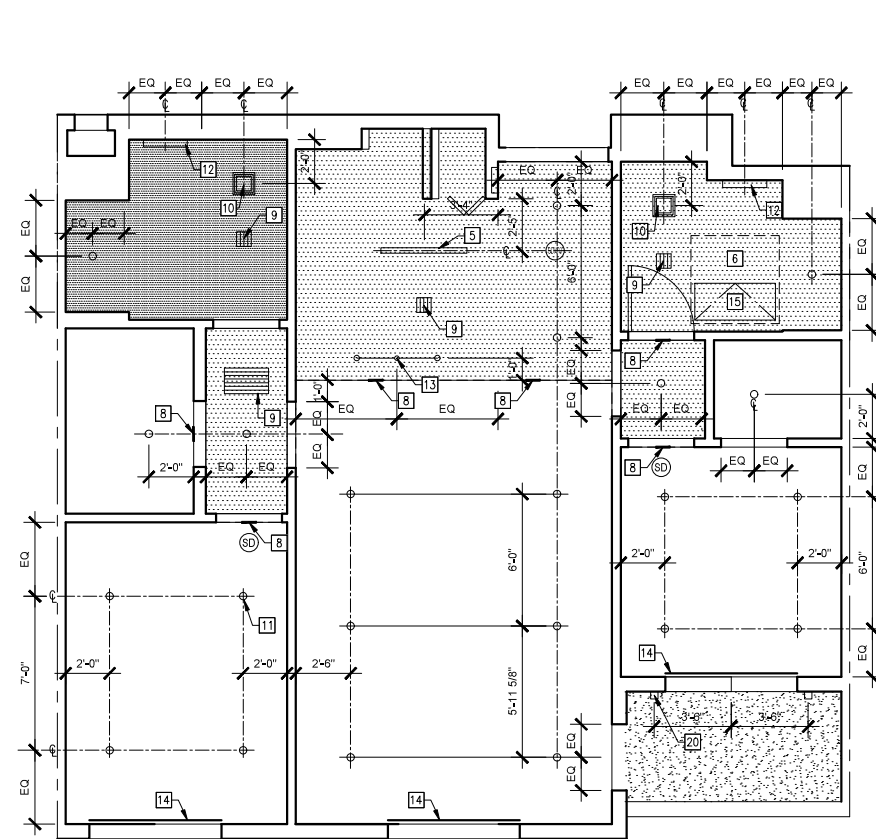
05.07.18
PLAN CHECK
SUBMITTAL

STAMP:

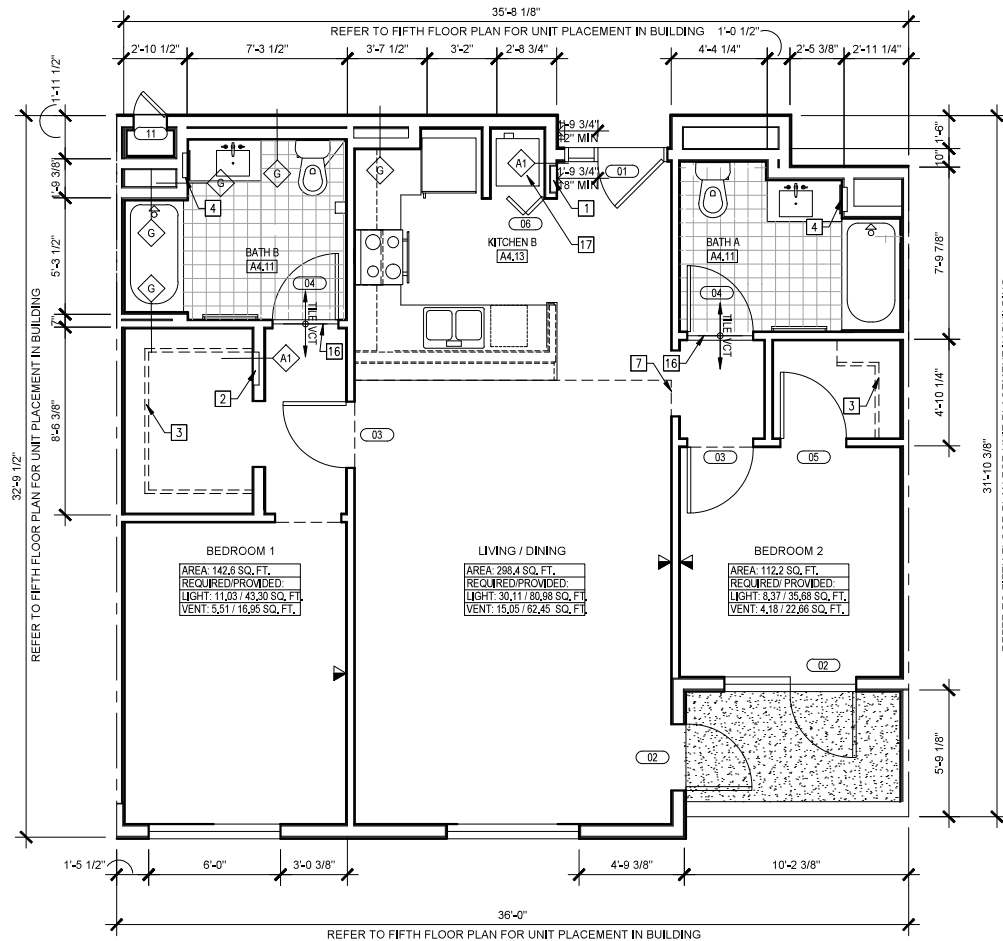
NOT FOR
CONSTRUCTION

NO. ISSUES / REVISIONS DATE

NO.	ISSUES / REVISIONS	DATE



UNIT TYPE B5 - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE) 2



(1.061 SF/ OCCURS 2 TIMES) UNIT B5 - FLOOR PLAN
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE) 1

GENERAL NOTES:

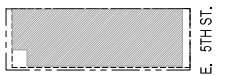
- SEE STRUCTURAL DWGS. FOR ADDITIONAL INFO
- SEE MECH/PLUMB/ELECT. DWGS. FOR ADDITIONAL INFO
- A MECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECTED TO THE OUTSIDE, IS REQUIRED. (CBC 1203.4.2.1)
- ONE OPENABLE WINDOW WITH AN OPENABLE AREA NOT LESS THAN 5.7 SQ. FT. MINIMUM CLEAR 24" HEIGHT AND 20" WIDTH, AND SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR IS REQUIRED IN ALL BEDROOMS BELOW THE FOURTH STORY AND BASEMENT. (CBC 1029)
- FOR EXTERIOR, DEMISING & CORRIDOR WALL TYPES REFER TO 1/8" SCALE FLOOR PLANS.
- PROVIDE FINISHED PANELS AT ALL EXPOSED CABINET SURFACES.
- REFER TO SHT G0.10 - G0.16 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- REFER TO 1/A7.11 FOR TYPICAL CABINET DETAIL
- REFER TO OVERALL 1/8" SCALE PLANS FOR WINDOW TYPES AND EXTERIOR DIMENSIONS.
- UNITS MAY BE MIRROR IMAGE ON 1/8" SCALE OVERALL PLAN.
- INTERIOR PARTITIONS TO BE WALL TYPE "A" U.N.O.
- PROVIDE CONSUMER INFORMATION IN EACH UNIT. REFER TO CONSUMER INFORMATION ON G002.
- PROVIDE CONTINUOUS 5/8" TYPE "X" GYPSUM SHEATHING AT ALL TUB WALLS (BEHIND ONE PIECE TUB SURROUNDS) TO EXTEND FULL HEIGHT TO MAINTAIN 1-HR RATING.
- EACH APPLIANCE PROVIDED AND INSTALLED SHALL MEET ENERGY STAR IF AN ENERGY STAR DESIGNATION IS APPLICABLE FOR THAT APPLIANCE.
- WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATE SPECIFIED IN THE MAXIMUM ALLOWABLE FLOW RATE COLUMN CONTAINED IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.
- USE ADA COMPLIANT APPLIANCES
- AT ALL BATHROOMS PROVIDE WATERPROOFING SHEET MEMBRANE UNDER TILE AND EXTEND 4" UP PERIMETER WALLS.

KEYNOTES:

- ELECTRICAL PANEL, PROVIDE 2x8 FRAMING, REFER TO ELECTRICAL DRAWINGS
- PROPOSED LOCATION FOR LOW VOLTAGE COMMUNICATION CABINET
- SHELF AND POLE, REFER TO DETAIL 14/G0.14
- RECESSED MEDICINE WALL CABINET
- SUSPENDED 4FT LINEAR FLOURESCENT LIGHT
- FAN COIL UNIT
- LINE OF SOFFIT SHOWN CONTINUOUS OR SOFFIT ABOVE SHOWN DASHED, REFER TO DETAIL 1/A7.12
- SIDEWALL REGISTER, REFER TO MECHANICAL DRAWINGS
- CEILING REGISTER, REFER TO MECHANICAL DRAWINGS
- COMBINATION EXHAUST FAN/LIGHT. PLASTIC FANS NOT PERMITTED
- LITHONAL LIGHTING, LED LOW PROFILE ROUND 4" CAN LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE 2 ARM W/ 14" DROP HEIGHT
- VERTICAL BLINDS CEILING MOUNTED TRACK
- CEILING ACCESS PANEL, REFER TO MECHANICAL DRAWINGS
- MARBLE THRESHOLD
- WASHER/DRYER
- EXTERIOR CAN LIGHT FIXTURE
- 4" ADJUSTABLE EYEBALL CAN LIGHT FIXTURE
- NOT USED

LEGEND:

- SOFFIT @ 8'-2" AFF. U.N.O REFER TO DETAIL X/A7.XX
- SOFFIT @ 8'-8" AFF. U.N.O REFER TO DETAIL X/A7.XX
- CEILING REGISTER
- WALL REGISTER
- SMOKE DETECTOR/HARDWIRED W. BATTERY BACK-UP TYP. CARBON MONOXIDE/SMOKE DETECTOR
- * 5% UNITS IS DEFINED HEREIN AS DESIGNATED UNITS WITH ADDITIONAL ACCESSIBILITY REQUIREMENTS
- WALL TYPE DESIGNATIONS, REFER TO A7.01
- LITHONAL LIGHTING, LED LOW PROFILE ROUND CAN LIGHT FIXTURE
- FLOURESCENT FIXTURE
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- EXTERIOR CAN LIGHT FIXTURE
- TV LOCATION / DATA



UNIT TYPE B5
PLAN & RCP

ISSUE DATE: 05.07.2018

A4.07



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1158 LAS PULGAS ROAD
PACIFIC PALISADES, CA

CONSULTANT LOGO:

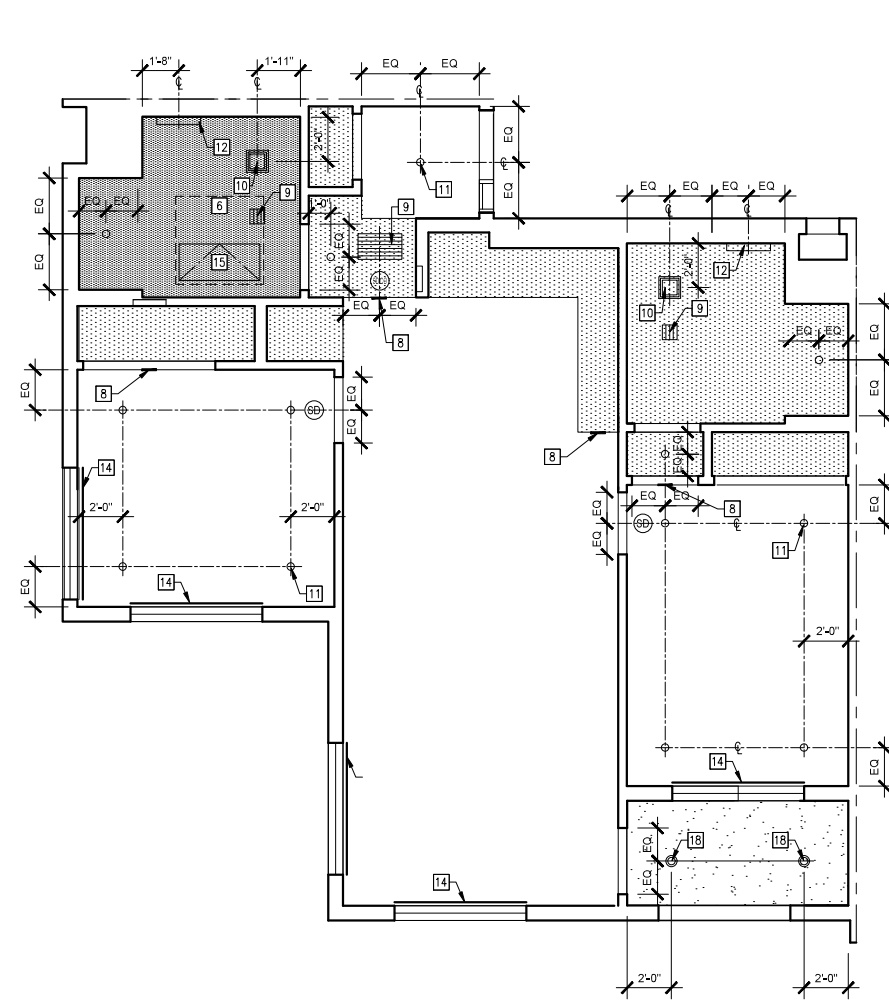
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A P A R T M E N T S
4 2 5 E A S T H S T .
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P R O J E C T # 1 7 0 1 0

05.07.18
PLAN CHECK
SUBMITTAL

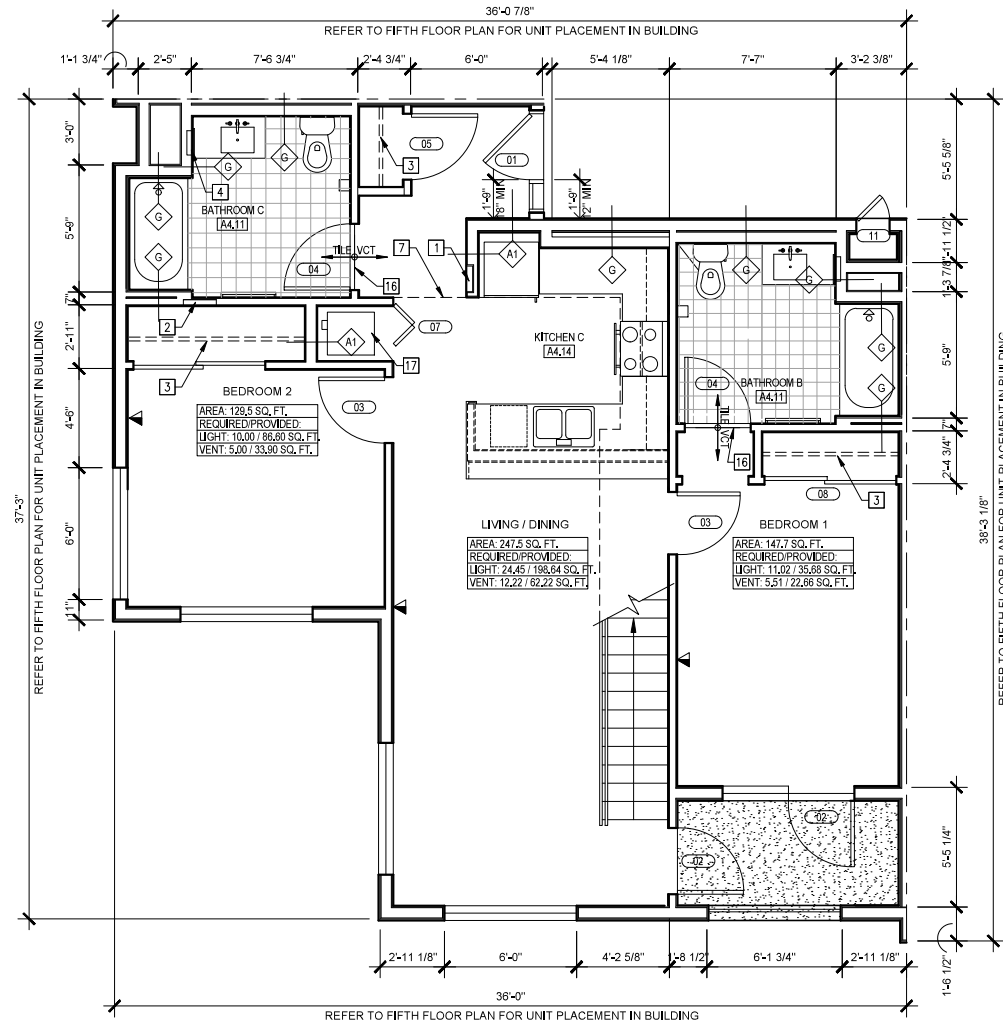
STAMP:

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CONSTRUCTION

NO. ISSUES / REVISIONS DATE



UNIT TYPE C1A - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE) 2



(972 SF / OCCURS 1 TIMES) UNIT C1A - FLOOR PLAN
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE) 1

GENERAL NOTES:

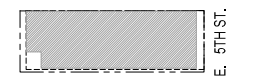
- SEE STRUCTURAL DWGS. FOR ADDITIONAL INFO
- SEE MECH/PLUMB/ELECT. DWGS. FOR ADDITIONAL INFO
- A MECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECTED TO THE OUTSIDE, IS REQUIRED. (CBC 1203.4.2.1)
- ONE OPENABLE WINDOW WITH AN OPENABLE AREA NOT LESS THAN 5.7 SQ. FT. MINIMUM CLEAR 24" HEIGHT AND 20" WIDTH, AND SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR IS REQUIRED IN ALL BEDROOMS BELOW THE FOURTH STORY AND BASEMENT. (CBC 1029)
- FOR EXTERIOR, DEMISING & CORRIDOR WALL TYPES REFER TO 1/8" SCALE FLOOR PLANS.
- PROVIDE FINISHED PANELS AT ALL EXPOSED CABINET SURFACES.
- REFER TO SHT G0.10 - G0.16 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- REFER TO 1/A7.11 FOR TYPICAL CABINET DETAIL
- REFER TO OVERALL 1/8" SCALE PLANS FOR WINDOW TYPES AND EXTERIOR DIMENSIONS.
- UNITS MAY BE MIRROR IMAGE ON 1/8" SCALE OVERALL PLAN.
- INTERIOR PARTITIONS TO BE WALL TYPE "A" U.N.O.
- PROVIDE CONSUMER INFORMATION IN EACH UNIT. REFER TO CONSUMER INFORMATION ON G002.
- PROVIDE CONTINUOUS 5/8" TYPE "X" GYPSUM SHEATHING AT ALL TUB WALLS (BEHIND ONE PIECE TUB SURROUNDS) TO EXTEND FULL HEIGHT TO MAINTAIN 1-HR RATING.
- EACH APPLIANCE PROVIDED AND INSTALLED SHALL MEET ENERGY STAR IF AN ENERGY STAR DESIGNATION IS APPLICABLE FOR THAT APPLIANCE.
- WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATE SPECIFIED IN THE MAXIMUM ALLOWABLE FLOW RATE COLUMN CONTAINED IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.
- USE ADA COMPLIANT APPLIANCES
- AT ALL BATHROOMS PROVIDE WATERPROOFING SHEET MEMBRANE UNDER TILE AND EXTEND 4" UP PERIMETER WALLS.

KEYNOTES:

- ELECTRICAL PANEL, PROVIDE 2x8 FRAMING, REFER TO ELECTRICAL DRAWINGS
- PROPOSED LOCATION FOR LOW VOLTAGE COMMUNICATION CABINET
- SHELF AND POLE, REFER TO DETAIL 14/G0.14
- RECESSED MEDICINE WALL CABINET
- SUSPENDED 4FT LINEAR FLOURESCENT LIGHT
- FAN COIL UNIT
- LINE OF SOFFIT SHOWN CONTINUOUS OR SOFFIT ABOVE SHOWN DASHED, REFER TO DETAIL 1/A7.12
- SIDEWALL REGISTER, REFER TO MECHANICAL DRAWINGS
- CEILING REGISTER, REFER TO MECHANICAL DRAWINGS
- COMBINATION EXHAUST FAN/LIGHT. PLASTIC FANS NOT PERMITTED
- LITHONAL LIGHTING, LED LOW PROFILE ROUND 4" CAN LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE 2 ARM W/ 14" DROP HEIGHT
- VERTICAL BLINDS CEILING MOUNTED TRACK
- CEILING ACCESS PANEL, REFER TO MECHANICAL DRAWINGS
- MARBLE THRESHOLD
- WASHER/DRYER
- EXTERIOR CAN LIGHT FIXTURE
- 4" ADJUSTABLE EYEBALL CAN LIGHT FIXTURE
- NOT USED

LEGEND:

- SOFFIT @ 8'-2" AFF. U.N.O REFER TO DETAIL X/A7.XX
- SOFFIT @ 8'-8" AFF. U.N.O REFER TO DETAIL X/A7.XX
- CEILING REGISTER
- WALL REGISTER
- SMOKE DETECTOR/HARDWIRED W. BATTERY BACK-UP TYP. CARBON MONOXIDE/SMOKE DETECTOR
- * 5% UNITS IS DEFINED HEREIN AS DESIGNATED UNITS WITH ADDITIONAL ACCESSIBILITY REQUIREMENTS
- WALL TYPE DESIGNATIONS, REFER TO A7.01
- LITHONAL LIGHTING, LED LOW PROFILE ROUND CAN LIGHT FIXTURE
- FLOURESCENT FIXTURE
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- EXTERIOR CAN LIGHT FIXTURE
- TV LOCATION / DATA



UNIT TYPE C1A
PLAN & RCP

ISSUE DATE: 05.07.2018

A4.08



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1158 LAS PULGAS ROAD
PACIFIC PALISADES, CA

CONSULTANT LOGO:

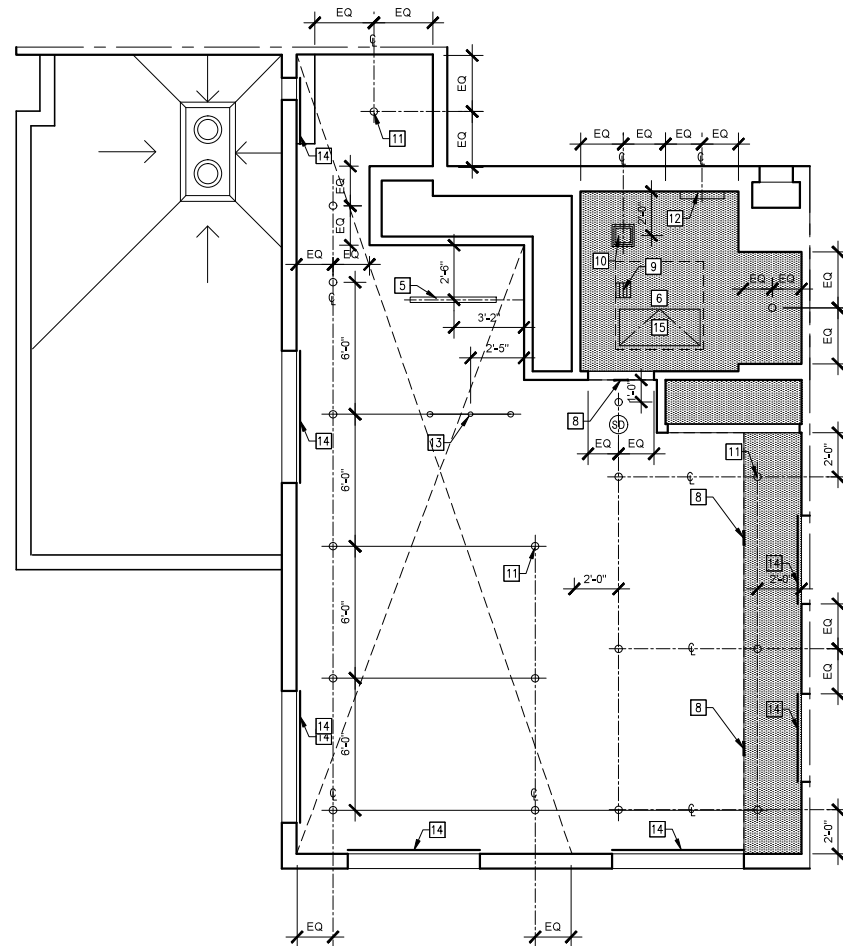
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A P A R T M E N T S
4 2 5 E A S T H S T .
L O N G B E A C H , C A 9 0 8 0 2
P R O J E C T # 1 7 0 1 0

05.07.18
PLAN CHECK
SUBMITTAL

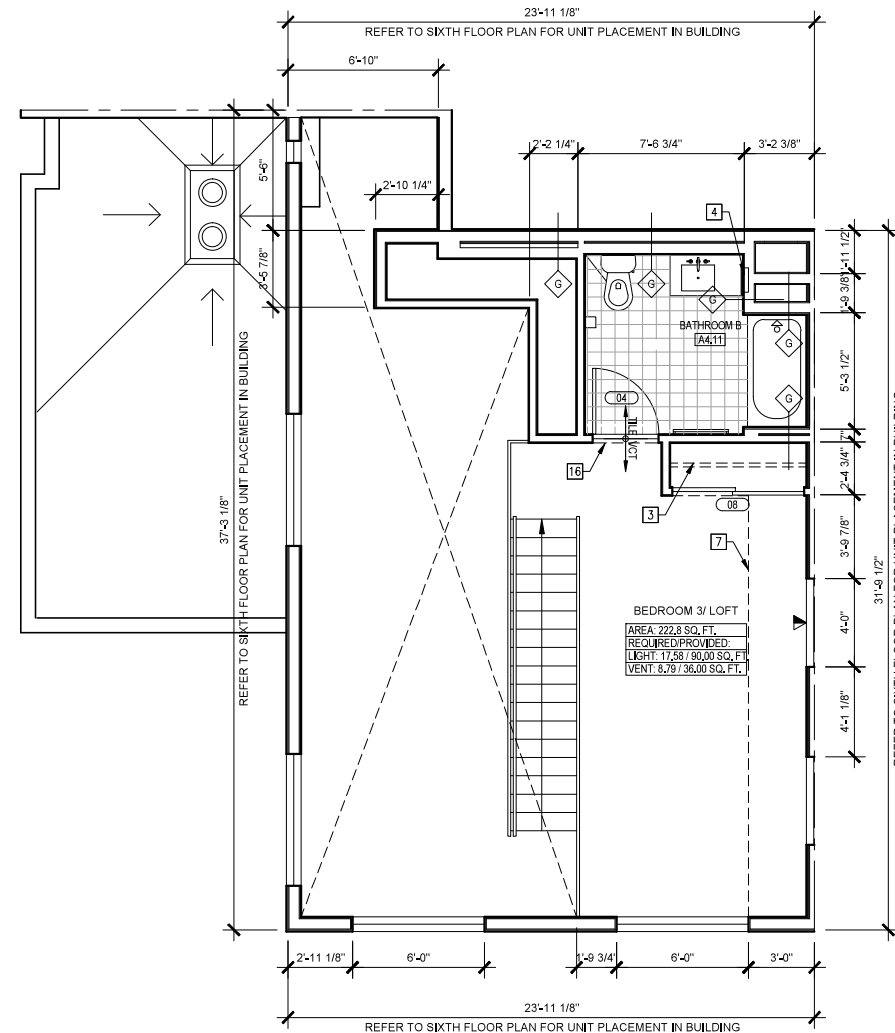
STAMP:

NOT FOR
CONSTRUCTION

NO. ISSUES / REVISIONS DATE



UNIT TYPE C1B - REFLECTED CEILING PLAN 2
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)



(340 SF/ OCCURS 1 TIME) UNIT C1B - FLOOR PLAN 1
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)

GENERAL NOTES:

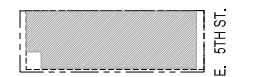
- SEE STRUCTURAL DWGS. FOR ADDITIONAL INFO
- SEE MECH/PLUMB/ELECT. DWGS. FOR ADDITIONAL INFO
- A MECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECTED TO THE OUTSIDE, IS REQUIRED. (CBC 1203.4.2.1)
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- FOR EXTERIOR, DEMISING & CORRIDOR WALL TYPES REFER TO 1/8" SCALE FLOOR PLANS.
- PROVIDE FINISHED PANELS AT ALL EXPOSED CABINET SURFACES.
- REFER TO SHT G0.10 - G0.16 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- REFER TO 1/A7.11 FOR TYPICAL CABINET DETAIL
- REFER TO OVERALL 1/8" SCALE PLANS FOR WINDOW TYPES AND EXTERIOR DIMENSIONS.
- UNITS MAY BE MIRROR IMAGE ON 1/8" SCALE OVERALL PLAN.
- INTERIOR PARTITIONS TO BE WALL TYPE "A" U.N.O.
- PROVIDE CONSUMER INFORMATION IN EACH UNIT. REFER TO CONSUMER INFORMATION ON G002.
- PROVIDE CONTINUOUS 5/8" TYPE "X" GYPSUM SHEATHING AT ALL TUB WALLS (BEHIND ONE PIECE TUB SURROUNDS) TO EXTEND FULL HEIGHT TO MAINTAIN 1-HR RATING.
- EACH APPLIANCE PROVIDED AND INSTALLED SHALL MEET ENERGY STAR IF AN ENERGY STAR DESIGNATION IS APPLICABLE FOR THAT APPLIANCE.
- WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATE SPECIFIED IN THE MAXIMUM ALLOWABLE FLOW RATE COLUMN CONTAINED IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.
- USE ADA COMPLIANT APPLIANCES
- AT ALL BATHROOMS PROVIDE WATERPROOFING SHEET MEMBRANE UNDER TILE AND EXTEND 4" UP PERIMETER WALLS.

KEYNOTES:

- ELECTRICAL PANEL, PROVIDE 2x8 FRAMING. REFER TO ELECTRICAL DRAWINGS
- PROPOSED LOCATION FOR LOW VOLTAGE COMMUNICATION CABINET
- SHELF AND POLE. REFER TO DETAIL: 14/G0.14
- RECESSED MEDICINE WALL CABINET
- SUSPENDED 4FT LINEAR FLOURESCENT LIGHT
- FAN COIL UNIT
- LINE OF SOFFIT SHOWN CONTINUOUS OR SOFFIT ABOVE SHOWN DASHED, REFER TO DETAIL 1/A7.12
- SIDEWALL REGISTER. REFER TO MECHANICAL DRAWINGS
- CEILING REGISTER. REFER TO MECHANICAL DRAWINGS
- COMBINATION EXHAUST FAN/LIGHT. PLASTIC FANS NOT PERMITTED
- LITHONIA LIGHTING, LED LOW PROFILE ROUND 4" CAN LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE 2 ARM W/ 14" DROP HEIGHT
- VERTICAL BLINDS CEILING MOUNTED TRACK
- CEILING ACCESS PANEL, REFER TO MECHANICAL DRAWINGS
- MARBLE THRESHOLD
- WASHER/DRYER
- EXTERIOR CAN LIGHT FIXTURE
- 4" ADJUSTABLE EYEBALL CAN LIGHT FIXTURE
- NOT USED

LEGEND:

- SOFFIT @ 8'-2" AFF. U.N.O REFER TO DETAIL X/A7.XX
- SOFFIT @ 8'-8" AFF. U.N.O REFER TO DETAIL X/A7.XX
- CEILING REGISTER
- WALL REGISTER
- SMOKE DETECTOR/HARDWIRED W. BATTERY BACKUP TYP. CARBON MONOXIDE/SMOKE DETECTOR
- "5% UNITS" IS DEFINED HEREIN AS DESIGNATED UNITS WITH ADDITIONAL ACCESSIBILITY REQUIREMENTS
- WALL TYPE DESIGNATIONS, REFER TO A7.01
- LITHONIA LIGHTING, LED LOW PROFILE ROUND CAN LIGHT FIXTURE
- FLOURESCENT FIXTURE
- TRAC-MASTER LED MINI-PENDANT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE, CENTER ABOVE LAVATORY
- EXTERIOR CAN LIGHT FIXTURE
- TV LOCATION / DATA



UNIT TYPE C1B
PLAN & RCP

ISSUE DATE: 05.07.2018

A4.09



209 S. MARKET ST.
INGLEWOOD, CA, 90301
3 2 3 . 5 5 3 . 2 3 7 6

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CLIENT INFO:
VISTA MESA INVESTMENT GROUP, LLC,
1158 LAS PULGAS ROAD
PACIFIC PALISADES, CA

CONSULTANT LOGO:

E. 5TH ST.
APARTMENTS
425 E 5TH ST.
LONG BEACH, CA 90802
PROJECT # 17010

05.07.18
PLAN CHECK
SUBMITTAL

STAMP:

NOT FOR
CONSTRUCTION

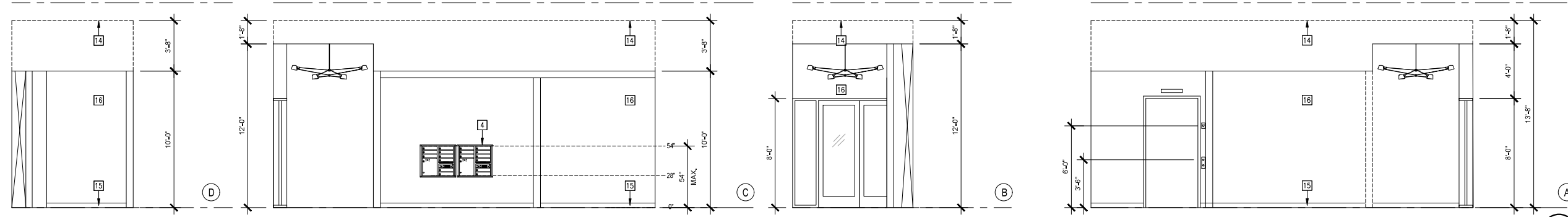
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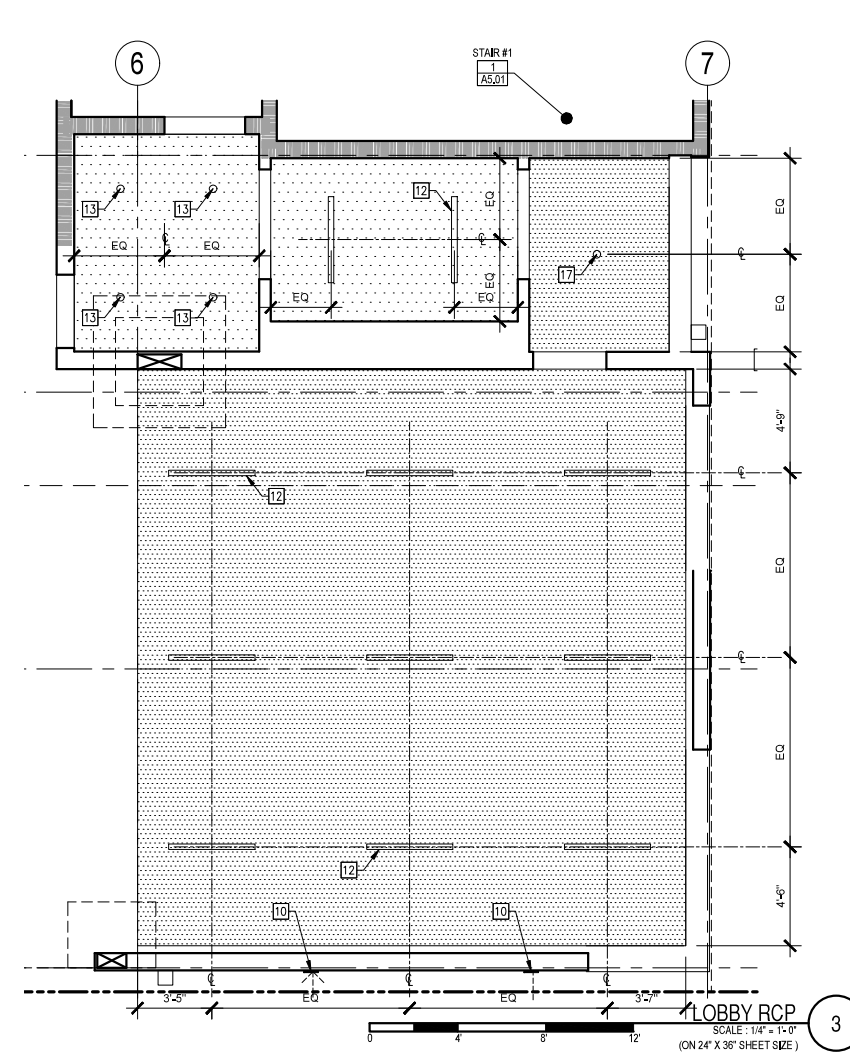
ENLARGED
LOBBY PLAN

ISSUE DATE: 05.07.2018

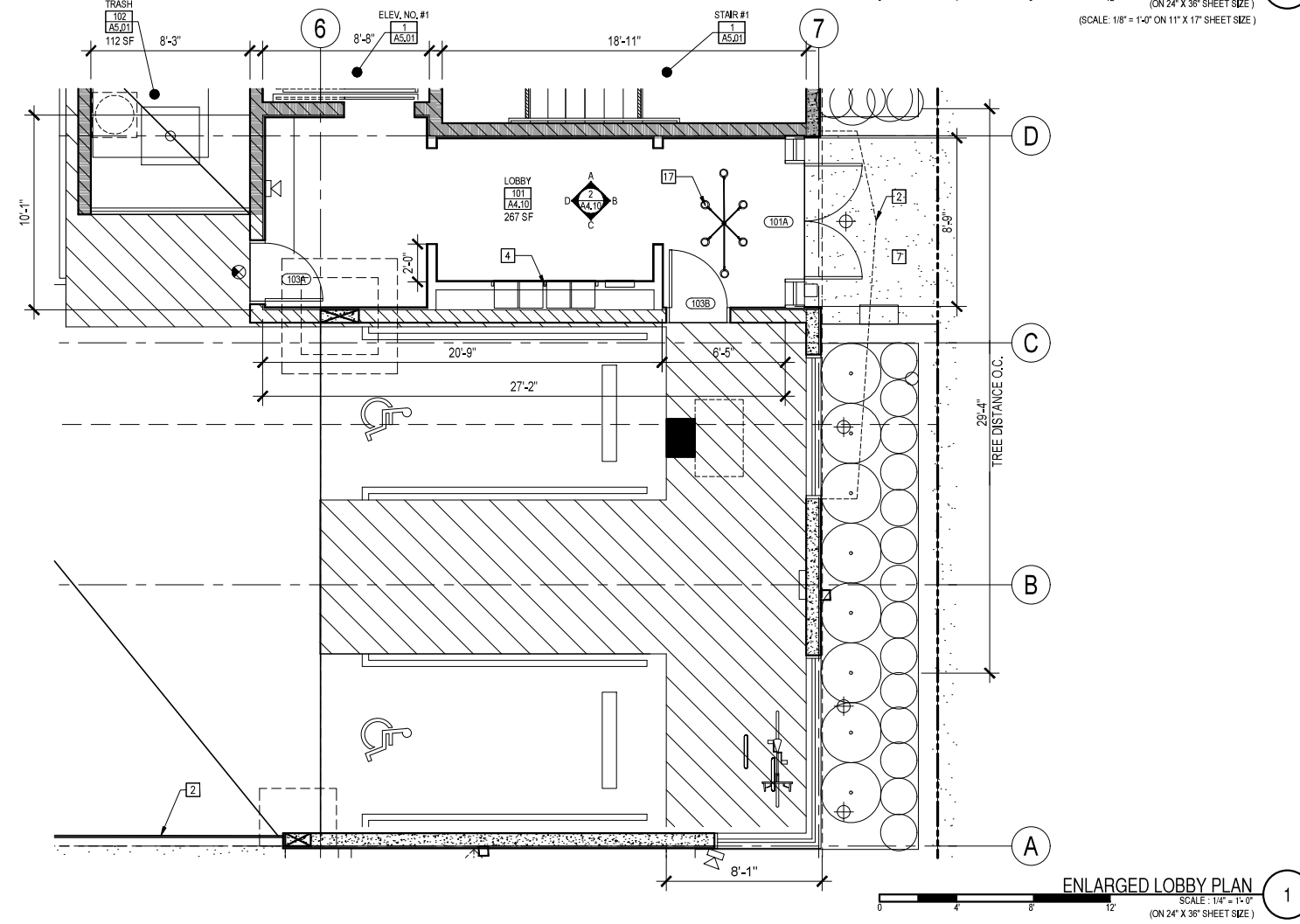
A4.10



LOBBY ELEVATIONS
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)
SCALE: 1/8" = 1'-0" ON 11" X 17" SHEET SIZE



LOBBY RCP
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)
SCALE: 1/8" = 1'-0" ON 11" X 17" SHEET SIZE



ENLARGED LOBBY PLAN
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)
SCALE: 1/8" = 1'-0" ON 11" X 17" SHEET SIZE

GENERAL NOTES:

- TYPICAL DIMENSIONS ARE TO FACE OF STRUCTURE WHICH IS FACE OF CONCRETE, FACE OF STUD, OR FACE OF SHEATHING AS OCCURS.
- WHERE EXTRA LAYER OF GYPSUM BOARD IS REQUIRED FOR FIRE RATING ADD EXTRA LAYER TO ENTIRE LENGTH OF WALL, SO THERE IS NO JOG IN FINISHED SURFACE.
- PROVIDE FIRE PARTITION IN ACCORDANCE WITH CBC 709.1 FOR:
- WALLS SEPARATING DWELLING UNITS.
- CORRIDOR WALLS

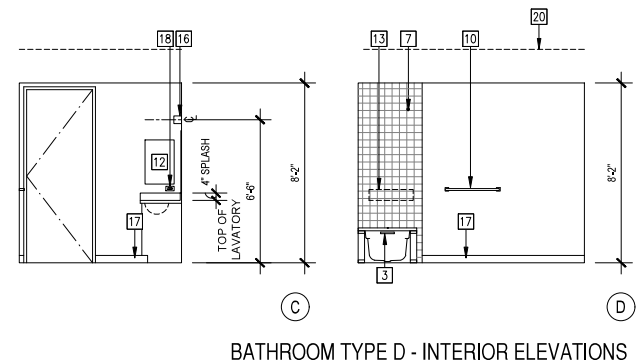
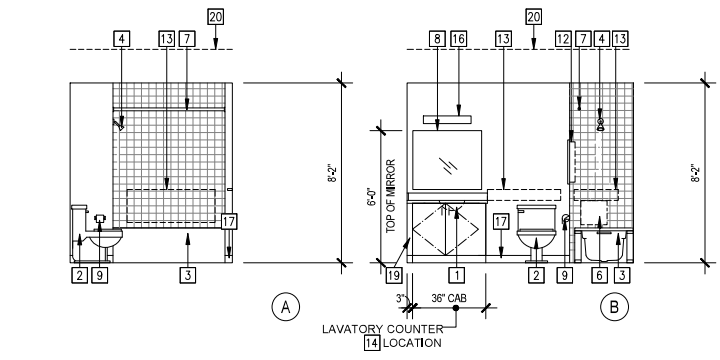
KEYNOTES:

- PROPERTY LINE SHOWN AS DASHED
- OUTLINE OF BUILDING, ABOVE
- FIRE DEPARTMENT CONNECTION
- POST MOUNTED MAILBOXES
- POST MOUNTED CALLBOX
- PLANTED AREA AT GRADE, PER LANDSCAPE DWGS
- CONCRETE WALKWAY, PER TO LANDSCAPE DWGS
- (E) STREET TREES, CITY TO DETERMINE TO KEEP OR REPLACE, PER LANDSCAPE DWGS
- LINE OF SOFFIT SHOWN CONTINUOUS OR SOFFIT ABOVE SHOWN DASHED, REFER TO DETAIL 1/A7.12
- SIDEWALL REGISTER, REFER TO MECHANICAL DWGS
- WALL SCONCE BRENDAN RAVENHILL ADA SCONCE 9 W/ INSCRIBED UNIT NUMBER, REFER TO ELECTRICAL DWGS
- SUSPENDED 4FT LINEAR FLOURESCENT LIGHT

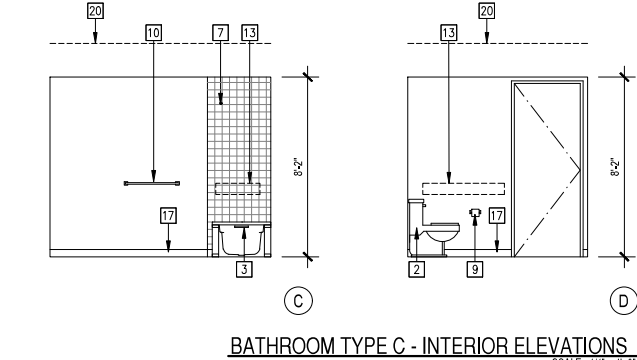
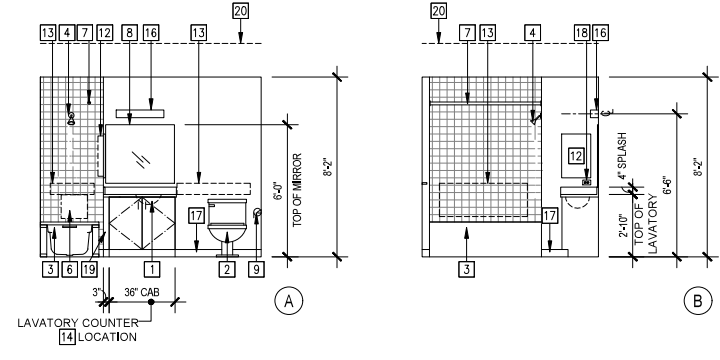
- LITHONIA LIGHTING, LED LOW PROFILE ROUND 4" CAN LIGHT FIXTURE, REFER TO ELECTRICAL DWGS.
- BOTTOM OF CONCRETE DECK ABOVE
- 4" BASE (SEE FINISH SCHEDULE)
- GYPSUM BOARD FINISH PAINT PER INTERIOR FINISH SCHEDULE
- BRENDAN RAVENHILL STUDIO LONG PIVOT CHANDELIER (72"X29"X11"), COLOR BLACK, DROP HEIGHT: 38" RIGID TUBE, REFER TO SPEC SHEET

LEGEND:

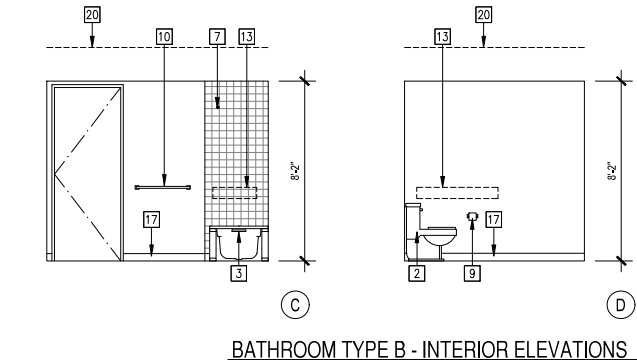
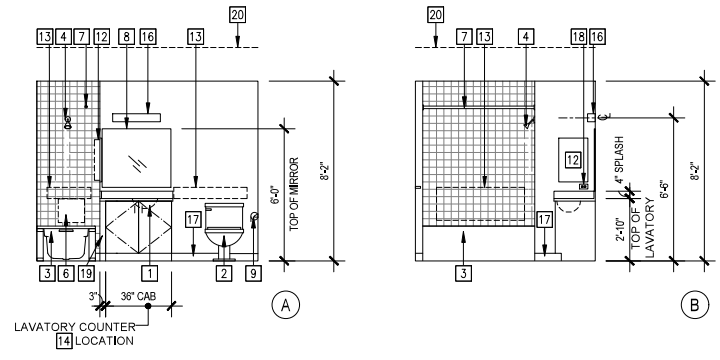
- SOFFIT @ 12'-0" AFF, U.N.O REFER TO DETAIL X/A7.XX
- SOFFIT @ 10'-0" AFF, U.N.O REFER TO DETAIL X/A7.XX
- WALL REGISTER
- WALL TYPE DESIGNATIONS, REFER TO A7.01
- LITHONIA LIGHTING, LED LOW PROFILE ROUND CAN LIGHT FIXTURE
- FLOURESCENT FIXTURE
- EXTERIOR WALL MOUNTED LIGHT FIXTURE
- EXTERIOR CAN LIGHT FIXTURE
- SECURITY CAMERA
- CMU WALL
- 2X WOOD FRAME WALL
- 1 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER
- DISABLED PATH OF TRAVEL.
- FINISH FLOOR ELEVATION
- SOLID SURFACE AREA



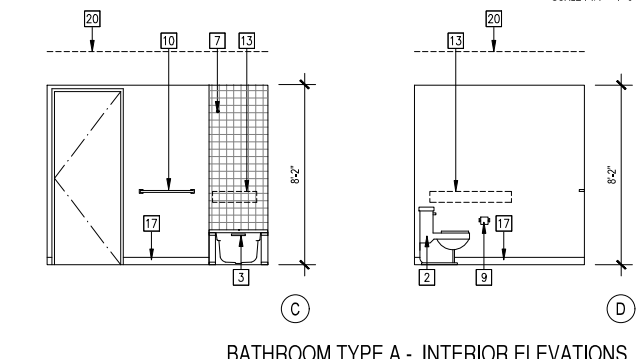
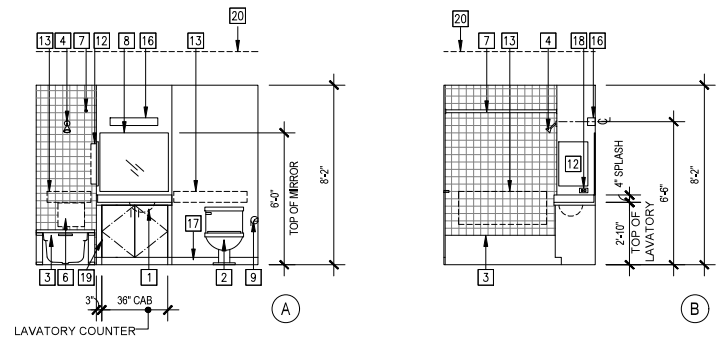
BATHROOM TYPE D - INTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0" 8



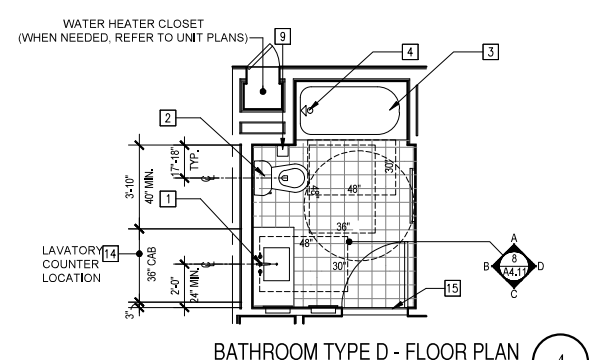
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SCALE: 1/4" = 1'-0" 7



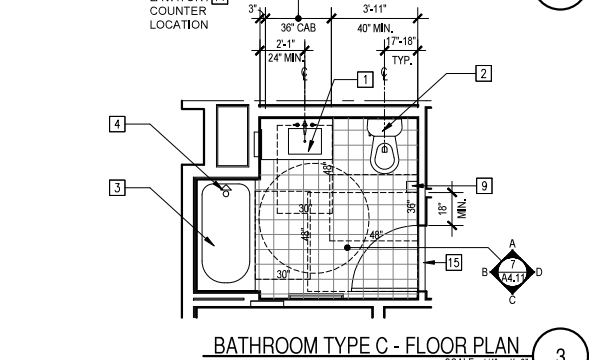
BATHROOM TYPE B - INTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0" 6



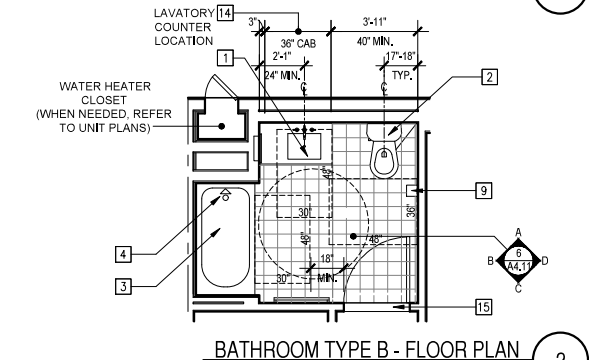
BATHROOM TYPE A - INTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0" 5



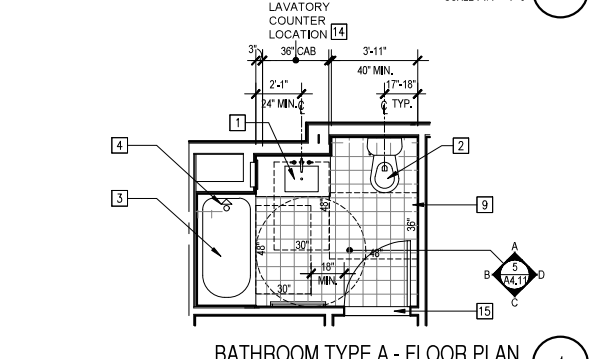
BATHROOM TYPE D - FLOOR PLAN
SCALE: 1/4" = 1'-0" 4



BATHROOM TYPE C - FLOOR PLAN
SCALE: 1/4" = 1'-0" 3



BATHROOM TYPE B - FLOOR PLAN
SCALE: 1/4" = 1'-0" 2



BATHROOM TYPE A - FLOOR PLAN
SCALE: 1/4" = 1'-0" 1

GENERAL NOTES:

- REFER TO 9 / G0.14 FOR TYPICAL CABINET DETAIL.
- UNITS ARE PART OF 5% OF COVERED MULTIFAMILY APARTMENT HOUSE DWELLING UNITS REQUIRED TO BE ADAPTABLE ACCESSIBLE. THESE UNITS SHALL COMPLY WITH 2010 ADA.
- UNITS ARE PART OF 2% OF COVERED MULTIFAMILY APARTMENT HOUSE DWELLING UNITS REQUIRED TO PROVIDE VISUAL AND AUDIBLE ALARM NOTIFICATION APPLIANCES. THESE UNITS SHALL COMPLY WITH 2010 ADA.
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- USE ADA COMPLIANT APPLIANCES
- SEE STRUCTURAL DWGS. FOR ADDITIONAL INFO
- SEE MECH/PLUMB/ELECT DWGS. FOR ADDITIONAL INFO
- A MECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM, TOILET ROOM, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECTED TO THE OUTSIDE, IS REQUIRED. (CBC 12034.2.1)
- FOR EXTERIOR, DEMISING & CORRIDOR WALL TYPES REFER TO 18" SCALE FLOOR PLANS.
- PROVIDE FINISHED PANELS AT ALL EXPOSED CABINET SURFACES.
- REFER TO SH1 G0.10 - G0.15 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- UNITS MAY BE MIRROR IMAGE ON 18" SCALE OVERALL PLAN.
- PROVIDE CONTINUOUS 5/8" TYPE 'X' GYPSUM SHEATHING AT ALL TUB WALLS (BEHIND ONE PIECE TUB SURROUNDS) TO EXTEND FULL HEIGHT TO MAINTAIN 1-HR RATING.
- WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATED SPECIFIED IN THE MAXIMUM ALLOWABLE FLOW RATE COLUMN CONTAINED IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.
- AT ALL BATHROOMS PROVIDE WATERPROOFING SHEET MEMBRANE UNDER TILE AND EXTEND 4" UP PERIMETER WALLS.

KEYNOTES:

- BATHROOM LAVATORY. REFER TO DETAIL 7/G0.14
- WATER CLOSET. FLUSH ACTIVATOR TO BE ON THE SAME SIDE OF TOILET AS LAVATORY. TOILET SEAT HEIGHT AT 15"-19" A.F.F.
- ACRYLIC DROP-IN TUB KOHLER ARCHER. 32" x 60" x 19" HT. REFER TO DETAIL 7/A7.09
- SHOWER HEAD AT 72" A.F.F.
- SHOWER SPRAY UNIT. HOSE SHALL BE AT LEAST 60" LONG THAT CAN BE USED AS FIXED SHOWER HEAD AT VARIOUS HEIGHTS OR AS HAND-HELD SHOWER. REFER TO DETAIL 13/G0.14
- SHOWER CONTROL AREA, MOUNT ON WALL, REFER TO DETAIL 13/G0.14
- SHOWER CURTAIN ROD AT 84" A.F.F.
- MIRROR, BOTTOM AT 40" A.F.F.
- TOILET PAPER HOLDER, TO CENTERLINE OF DISPENSER AT 24" A.F.F.
- TOWEL BAR AT 40" MAX A.F.F., 30" LONG
- FLOOR DRAIN, MAX FLOOR SLOPE 2%.
- RECESSED, METAL MEDICINE CABINET - LOWEST SHELF AT 44" MAX A.F.F.
- GRAB BAR BACKING (WALL MOUNTED) REFER TO DETAIL 2/G0.14, 5/G0.14
- REMOVABLE BASE CABINET UNDER LAVATORY COUNTER. THE KNEE SPACE SHALL HAVE A MINIMUM CLEAR WIDTH OF 30 IN AND A MINIMUM CLEAR DEPTH OF 17" TO ALLOW FORWARD APPROACH. FINISHED FLOOR SHALL EXTEND UNDER THE COUNTER TO THE WALL. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE COUNTER. REFER TO DETAIL 12/G0.14
- MARBLE THRESHOLD. REFER TO DETAIL 10 / A7.09
- WALL MOUNTED LIGHT FIXTURE, PER ELECT. DWGS.
- 4" TILE BASE (SEE FINISH SCHEDULE)
- OUTLET, REFER TO ELECTRICAL DRAWINGS
- CABINET FILLER
- BOTTOM OF STRUCTURE ABOVE



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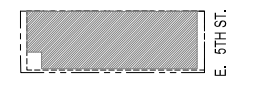
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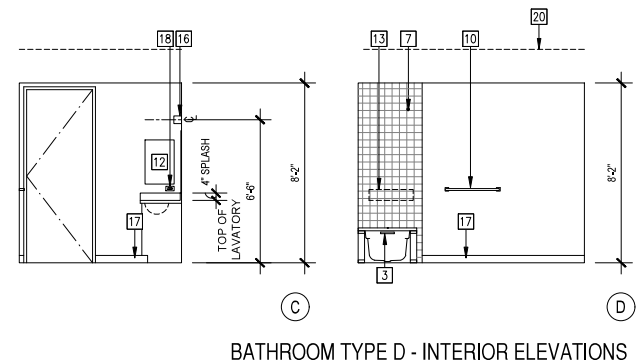
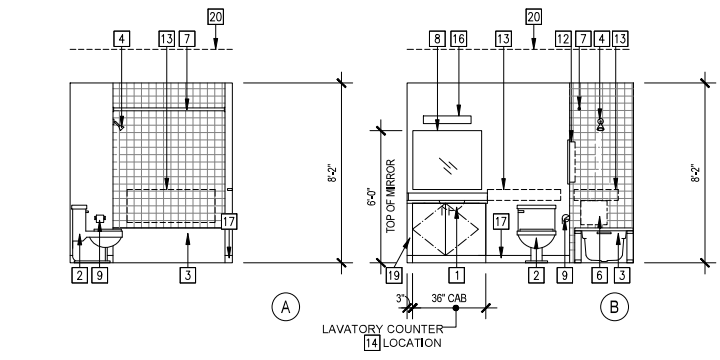
NO.	ISSUES / REVISIONS	DATE



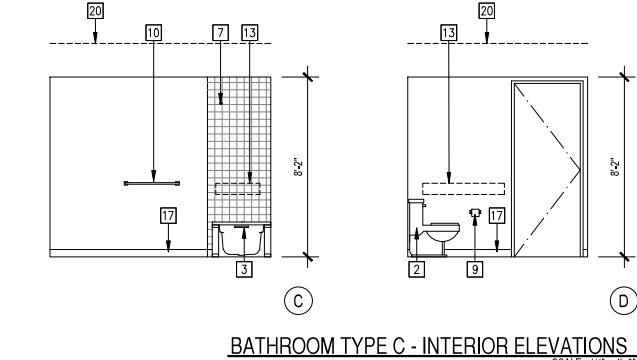
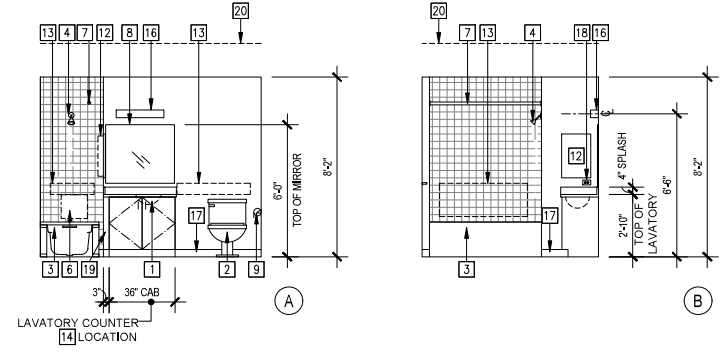
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ISSUE DATE: 05.07.2018

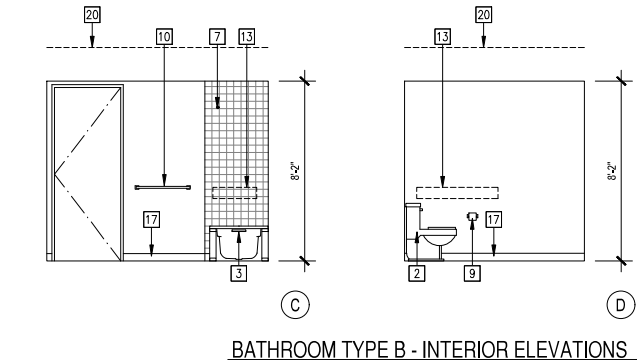
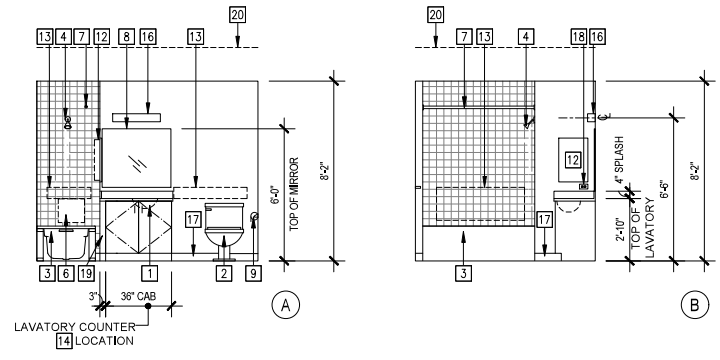
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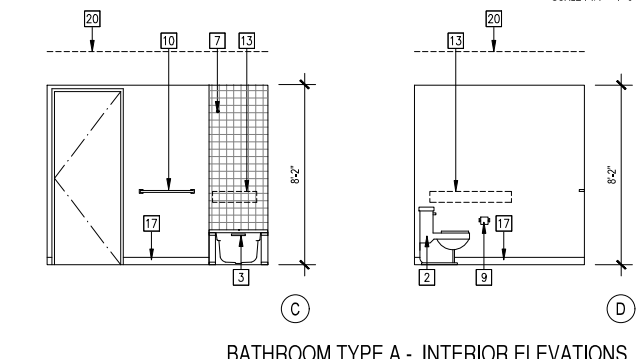
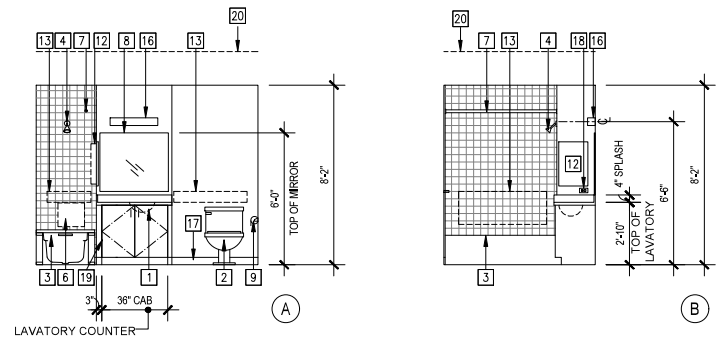
BATHROOM TYPE D - INTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0" 8



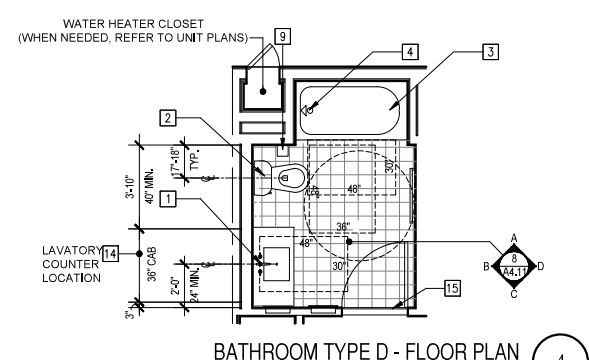
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SCALE: 1/4" = 1'-0" 7



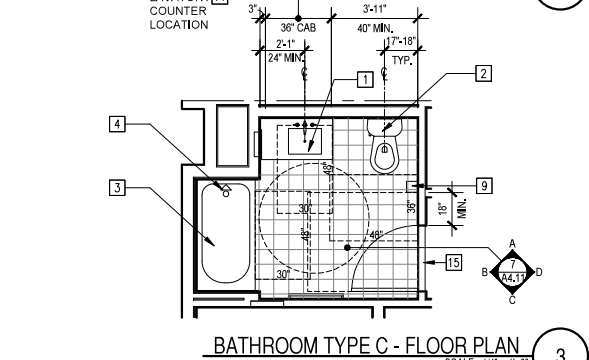
BATHROOM TYPE B - INTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0" 6



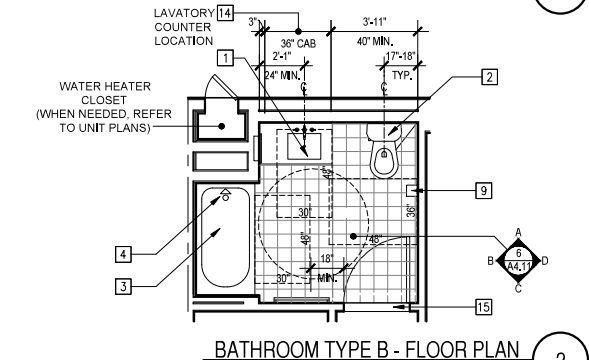
BATHROOM TYPE A - INTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0" 5



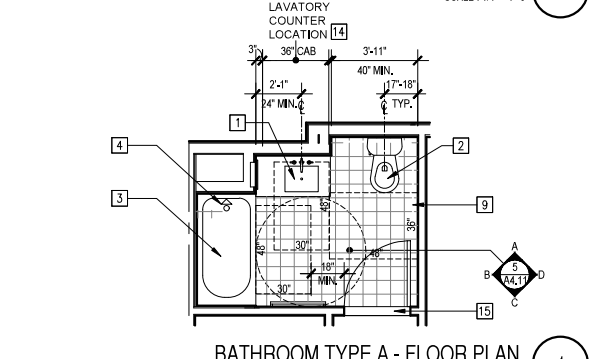
BATHROOM TYPE D - FLOOR PLAN
SCALE: 1/4" = 1'-0" 4



BATHROOM TYPE C - FLOOR PLAN
SCALE: 1/4" = 1'-0" 3



BATHROOM TYPE B - FLOOR PLAN
SCALE: 1/4" = 1'-0" 2



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SCALE: 1/4" = 1'-0" 1

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- 4" TILE BASE (SEE FINISH SCHEDULE)
- OUTLET, REFER TO ELECTRICAL DRAWINGS
- CABINET FILLER
- BOTTOM OF STRUCTURE ABOVE



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CONSULTANT LOGO:

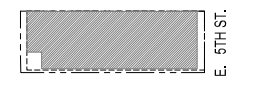
E. 5 T H S T S
APARTMENTS
 4 2 5 E . 5 T H S T .
 LONG BEACH, CA 90802
 PROJECT # 1 7 0 1 0

05.07.18
PLAN CHECK
SUBMITTAL

STAMP:

**NOT FOR
CONSTRUCTION**

NO.	ISSUES / REVISIONS	DATE



BATH TYPES

ISSUE DATE: 05.07.2018

A4.11



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INGLEWOOD, CA. 90301
323.553.2376

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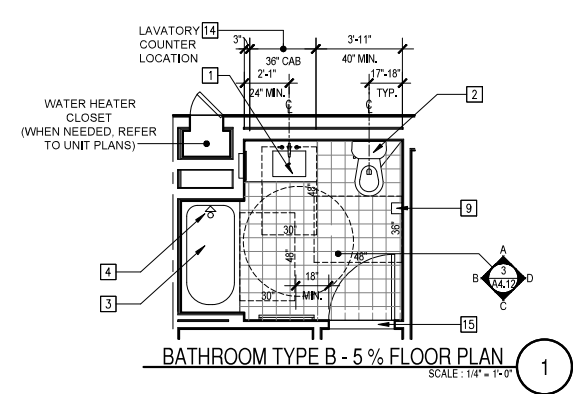
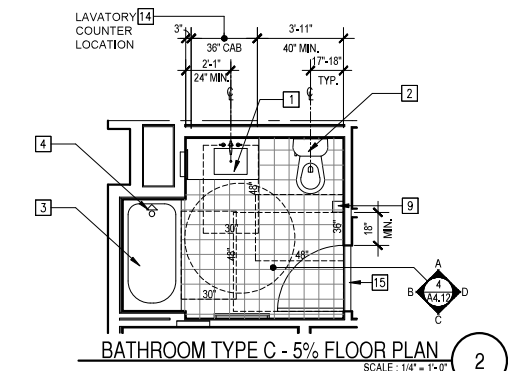
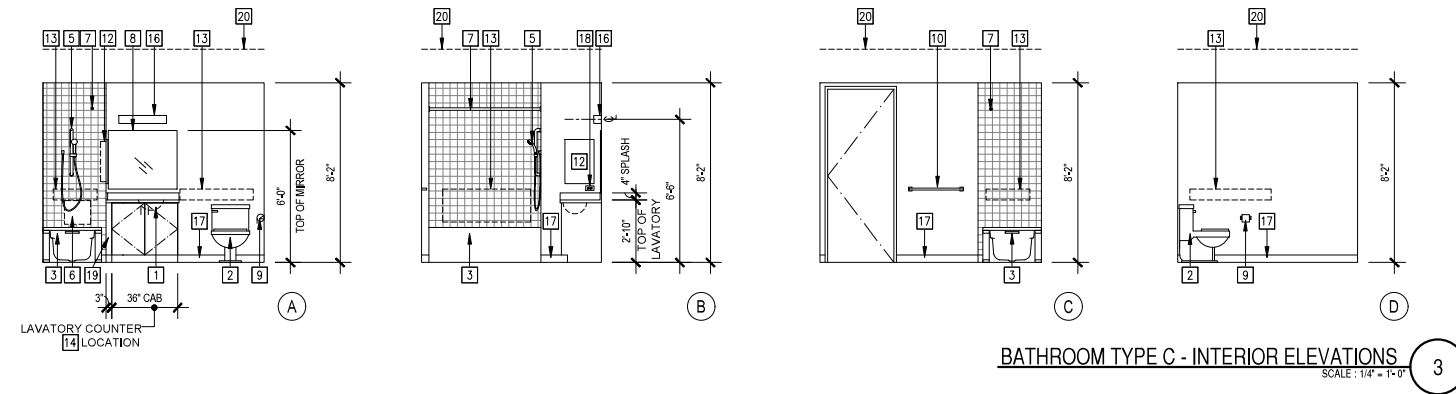
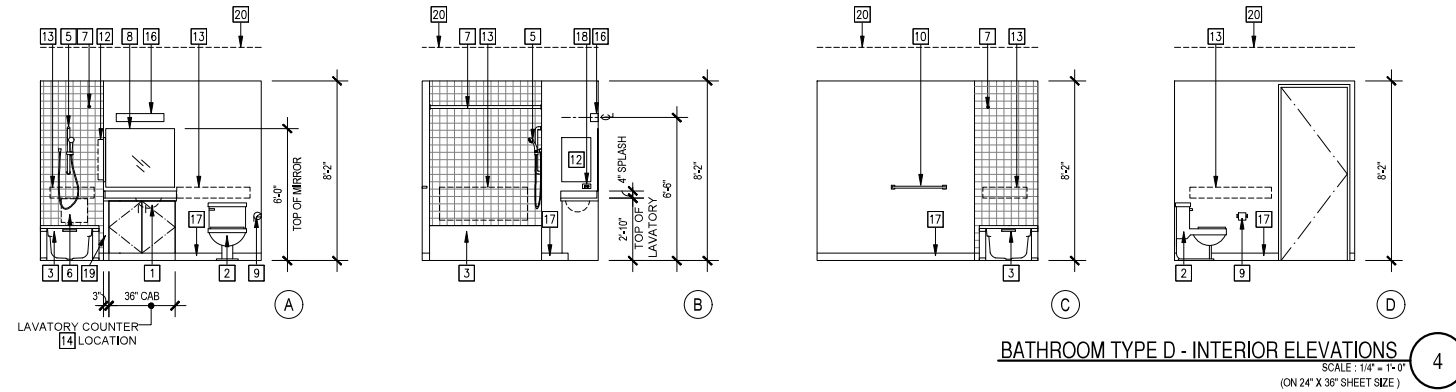
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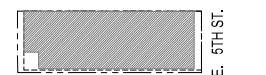
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GENERAL NOTES:

- REFER TO 9 / G0.14 FOR TYPICAL CABINET DETAIL
- UNITS ARE PART OF 5% OF COVERED MULTIFAMILY APARTMENT HOUSE DWELLING UNITS REQUIRED TO BE ADAPTABLE ACCESSIBLE. THESE UNITS SHALL COMPLY WITH 2010 ADA.
- UNITS ARE PART OF 2% OF COVERED MULTIFAMILY APARTMENT HOUSE DWELLING UNITS REQUIRED TO PROVIDE VISUAL AND AUDIBLE ALARM NOTIFICATION APPLIANCES. THESE UNITS SHALL COMPLY WITH 2010 ADA.
- EACH APPLIANCE PROVIDED AND INSTALLED SHALL MEET ENERGY STAR IF AN ENERGY STAR DESIGNATION IS APPLICABLE FOR THAT APPLIANCE.
- USE ADA COMPLIANT APPLIANCES
- SEE STRUCTURAL DWGS. FOR ADDITIONAL INFO
- SEE MECH/PLUMB/ELECT DWGS. FOR ADDITIONAL INFO
- AMECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM. TOILET ROOM, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECTED TO THE OUTSIDE, IS REQUIRED. (CBC 1203.4.2.1)
- FOR EXTERIOR, DEMISING & CORRIDOR WALL TYPES REFER TO 1/8" SCALE FLOOR PLANS.
- PROVIDE FINISHED PANELS AT ALL EXPOSED CABINET SURFACES.
- REFER TO SHT G0.10 - G0.15 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- UNITS MAY BE MIRROR IMAGE ON 1/8" SCALE OVERALL PLAN.
- PROVIDE CONTINUOUS 5/8" TYPE "X" GYPSUM SHEATHING AT ALL TUB WALLS (BEHIND ONE PIECE TUB SURROUNDS) TO EXTEND FULL HEIGHT TO MAINTAIN 1-HR RATING.
- WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM ALLOWABLE FLOW RATE COLUMN CONTAINED IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.
- AT ALL BATHROOMS PROVIDE WATERPROOFING SHEET MEMBRANE UNDER TILE AND EXTEND 4" UP PERIMETER WALLS.

- BATHROOM LAVATORY, REFER TO DETAIL 7/G0.14
- WATER CLOSET, FLUSH ACTIVATOR TO BE ON THE SAME SIDE OF TOILET AS LAVATORY. TOILET SEAT HEIGHT AT 15"-19" A.F.F.
- ACRYLIC DROP-IN TUB KOHLER ARCHER, 32" x 60" x 19" HT, REFER TO DETAIL 7 / A7.06
- SHOWER HEAD AT 72" A.F.F.
- SHOWER SPRAY UNIT, HOSE SHALL BE AT LEAST 60" LONG THAT CAN BE USED AS FIXED SHOWER HEAD AT VARIOUS HEIGHTS OR AS HAND-HELD SHOWER. REFER TO DETAIL 13/G0.14
- SHOWER CONTROL AREA, MOUNT ON WALL, REFER TO DETAIL 13/G0.14
- SHOWER CURTAIN ROD AT 84" A.F.F.
- MIRROR, BOTTOM AT 40" A.F.F.
- TOILET PAPER HOLDER, TO CENTERLINE OF DISPENSER AT 24" A.F.F.
- TOWEL BAR AT 40" MAX A.F.F., 30" LONG
- FLOOR DRAIN, MAX FLOOR SLOPE 2%.
- RECESSED, METAL MEDICINE CABINET - LOWEST SHELF AT 44" MAX A.F.F.
- GRAB BAR BACKING (WALL MOUNTED) REFER TO DETAIL 2/G0.14, 5/G0.14
- REMOVABLE BASE CABINET UNDER LAVATORY COUNTER. THE KNEE SPACE SHALL HAVE A MINIMUM CLEAR WIDTH OF 30 IN AND A MINIMUM CLEAR DEPTH OF 17" TO ALLOW FORWARD APPROACH. FINISHED FLOOR SHALL EXTEND UNDER THE COUNTER TO THE WALL. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE COUNTER. REFER TO DETAIL 12/G0.14
- MARBLE THRESHOLD, REFER TO DETAIL 10 / A7.09
- WALL MOUNTED LIGHT FIXTURE, PER ELECT. DWGS.
- 4" TILE BASE (SEE FINISH SCHEDULE)
- OUTLET, REFER TO ELECTRICAL DRAWINGS
- CABINET FILLER
- BOTTOM OF STRUCTURE ABOVE



**ACCESSIBLE
BATH TYPES**

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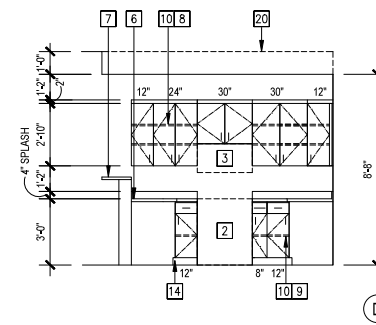
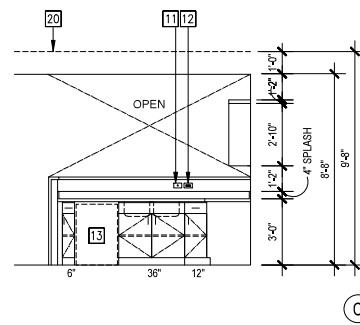
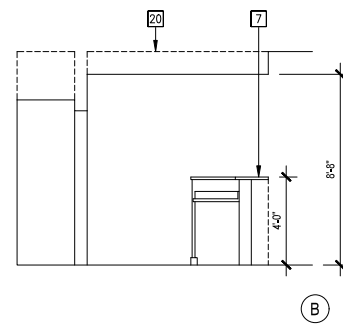
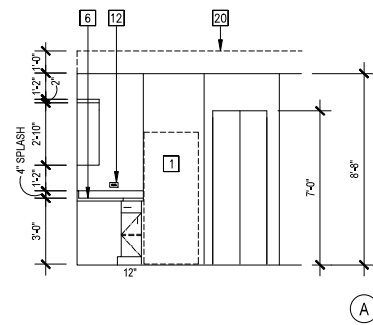


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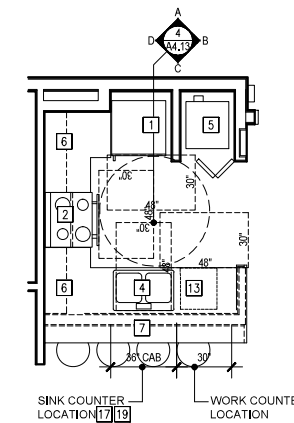
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KITCHEN TYPE B - INTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)

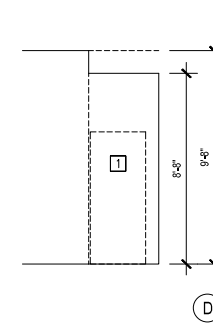
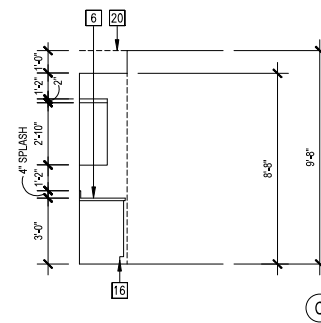
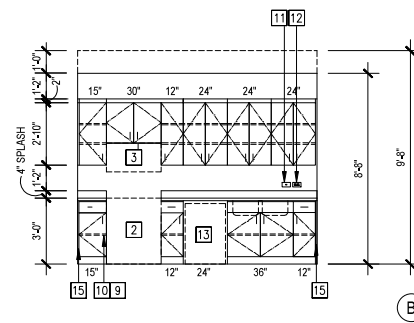
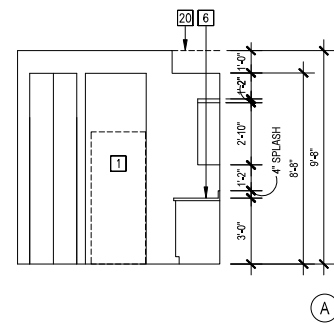
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KITCHEN TYPE B - FLOOR PLAN

SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)

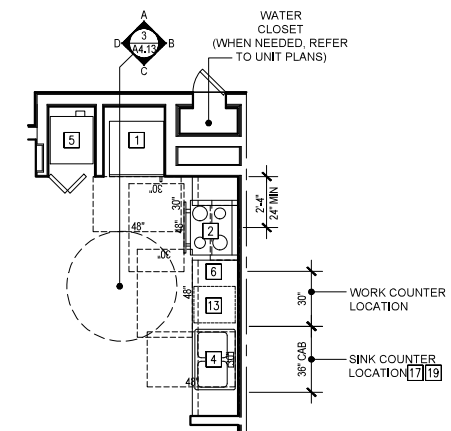
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KITCHEN TYPE A - INTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)

3



KITCHEN TYPE A - FLOOR PLAN

SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)

1

GENERAL NOTES:

- REFER TO 1 / A7.11 FOR TYPICAL CABINET DETAIL
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- USE ADA COMPLIANT APPLIANCES
- SEE STRUCTURAL DWGS. FOR ADDITIONAL INFO
- SEE MECH/PLUMB/ELECT. DWGS. FOR ADDITIONAL INFO
- AMECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM, TOILET ROOM, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECTED TO THE OUTSIDE, IS REQUIRED. (CBC 1203.4.2.1)
- FOR EXTERIOR, DEMISING & CORRIDOR WALL TYPES REFER TO 1/8" SCALE FLOOR PLANS.
- PROVIDE FINISHED PANELS AT ALL EXPOSED CABINET SURFACES.
- REFER TO SHT G0.10 - G0.15 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- UNITS MAY BE MIRROR IMAGE ON 1/8" SCALE OVERALL PLAN.

KEYNOTES:

- | | | |
|--|---|---|
| 1 REFRIGERATOR 24" (ENERGY STAR) | 11 LIGHT SWITCH, REFER TO ELECTRICAL DRAWINGS | 20 BOTTOM OF STRUCTURE ABOVE |
| 2 OVEN/RANGE, 24" WIDE, CONTROLS ON THE FRONT FACE | 12 OUTLET, REFER TO ELECTRICAL DRAWINGS | 21 WALL MOUNTED TELEPHONE / DATA CABLING AND PHONE JACK, REFER TO ELECTRICAL DRAWINGS |
| 3 OVER-THE-RANGE MICROWAVE, VENTED TO EXTERIOR | 13 DISHWASHER (ENERGY STAR) | 22 COUNTERTOP WATERFALL |
| 4 DOUBLE COMPARTMENT KITCHEN SINK | 14 4" TOE KICK | |
| 5 WASHER/DRYER | 15 CABINET FILLER | |
| 6 SOLID SURFACE COUNTERTOP | 16 NOT USED | |
| 7 BAR COUNTER @ 48" AFF, REFER TO DETAIL 2/A7.11 | 17 30"X48" FLOOR SPACE FOR SINK AND DISHWASHER | |
| 8 UPPER CABINET, DOOR PULLS OR HANDLES SHALL BE MOUNTED AS CLOSE TO THE BOTTOM OF CABINET DOOR AS POSSIBLE | 18 CORNER CABINET WITH HINGED, BI-FOLD DOOR | |
| 9 BASE CABINET, DOOR PULLS OR HANDLES SHALL BE MOUNTED AS CLOSE TO THE TOP OF CABINET DOORS AS POSSIBLE | 19 REMOVABLE BASE CABINET UNDER SINK COUNTER. THE KNEE SPACE SHALL HAVE A MINIMUM CLEAR WIDTH OF 30 IN AND A MINIMUM CLEAR DEPTH OF 19" TO ALLOW FORWARD APPROACH. FINISHED FLOOR SHALL EXTEND UNDER THE COUNTER TO THE WALL. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE COUNTER. REFER TO DETAIL 9 / G0.14 | |
| 10 ADJUSTABLE SHELVES W/ MELAMINE FINISH SHOWN DASHED | | |

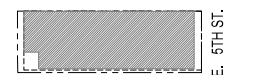
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KITCHEN TYPES

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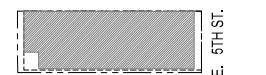
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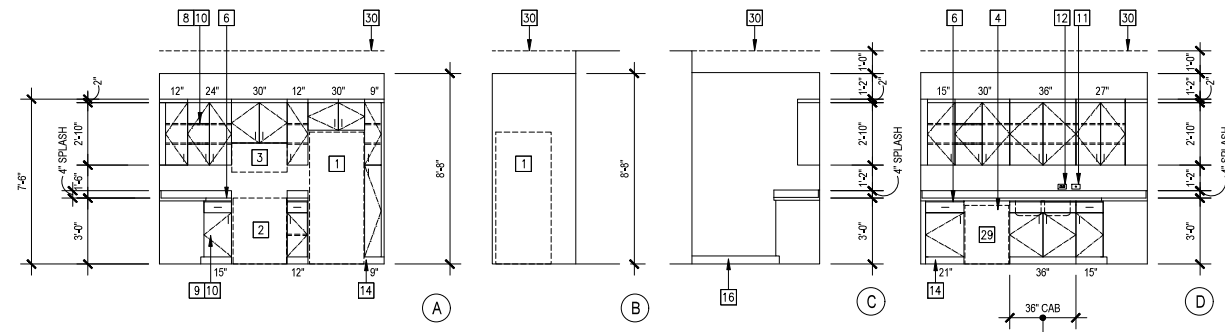
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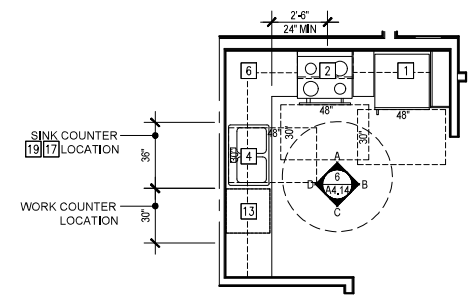
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ISSUE DATE: 05.07.2018

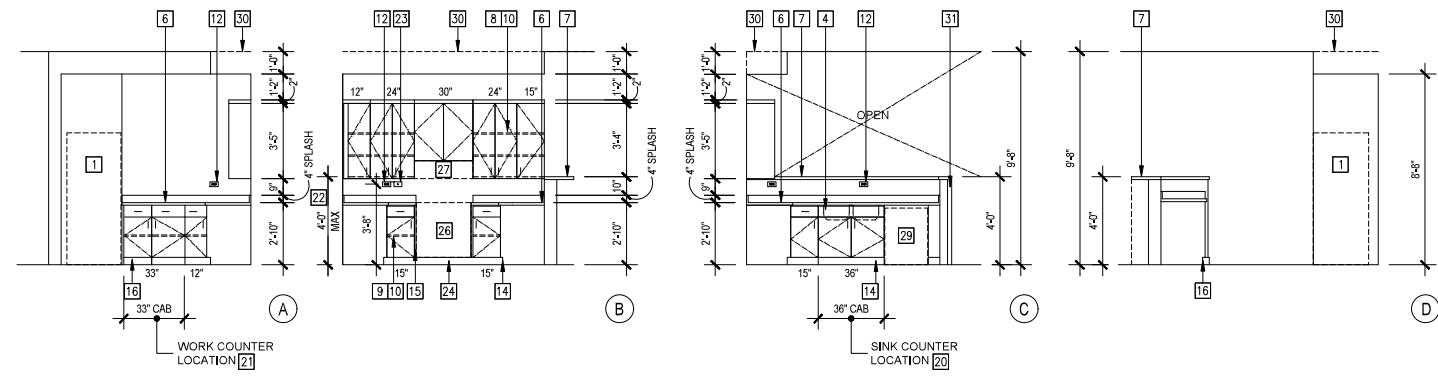
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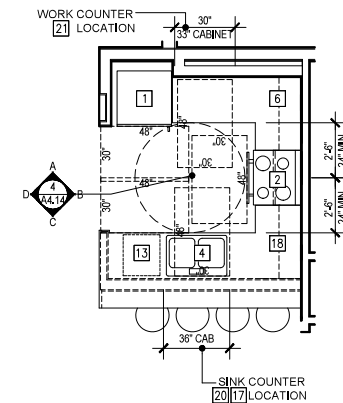
KITCHEN TYPE D - INTERIOR ELEVATIONS 6
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)



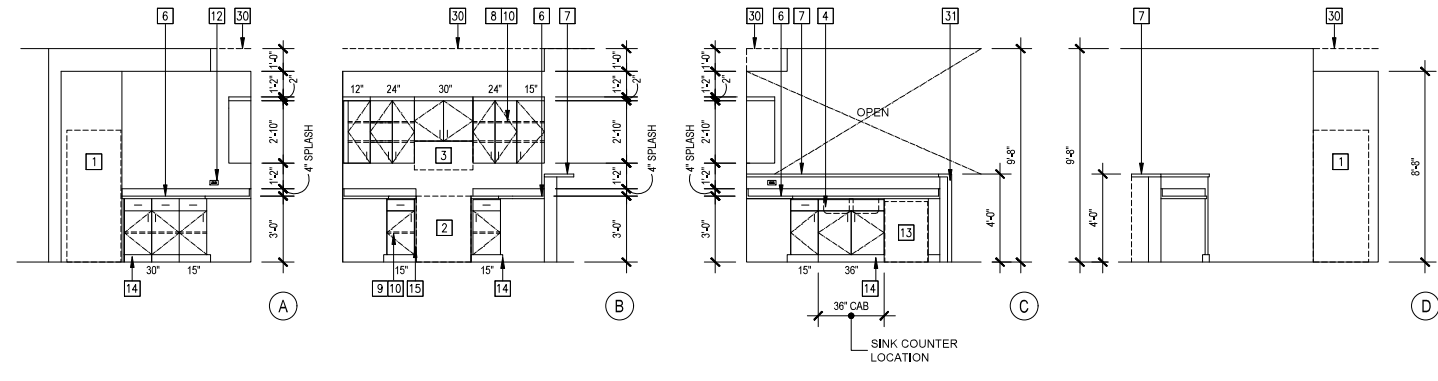
KITCHEN TYPE D - FLOOR PLAN 3
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)



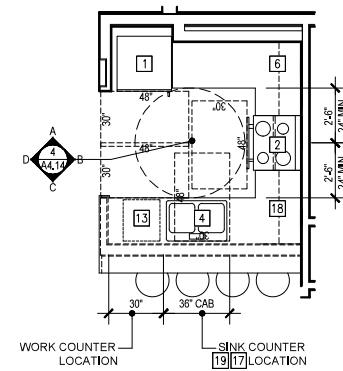
KITCHEN TYPE C 5% - INTERIOR ELEVATIONS 5
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)



KITCHEN TYPE C 5% - FLOOR PLAN 2
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)



KITCHEN TYPE C - INTERIOR ELEVATIONS 4
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)



KITCHEN TYPE C - FLOOR PLAN 1
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)

GENERAL NOTES:

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- USE ADA COMPLIANT APPLIANCES
- SEE STRUCTURAL DWGS. FOR ADDITIONAL INFO
- SEE MECH/PLUMB/ELECT. DWGS. FOR ADDITIONAL INFO
- A MECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM, TOILET ROOM, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECTED TO THE OUTSIDE, IS REQUIRED. (CBC 1203.4.2.1)
- FOR EXTERIOR, DEMISING & CORRIDOR WALL TYPES REFER TO 1/8" SCALE FLOOR PLANS.
- PROVIDE FINISHED PANELS AT ALL EXPOSED CABINET SURFACES.
- REFER TO SHT G0.10 - G0.15 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- UNITS MAY BE MIRROR IMAGE ON 1/8" SCALE OVERALL PLAN.

KEYNOTES:

- | | | | |
|--|---|---|---|
| 1 REFRIGERATOR (ENERGY STAR) | 11 LIGHT SWITCH. REFER TO ELECTRICAL DRAWINGS | 20 AT 5% UNITS AT SINK COUNTER-REMOVABLE BASE CABINET UNDER SINK COUNTER. FINISHED FLOOR SHALL EXTEND UNDER THE COUNTER TO THE WALL. THE KNEE SPACE SHALL HAVE A MINIMUM CLEAR WIDTH OF 30 IN AND A MINIMUM CLEAR DEPTH OF 19". THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE COUNTER. ROUGH-IN PLUMBING SHALL BE LOCATED TO ACCEPT CONNECTIONS OF SUPPLY AND DRAIN PIPES FOR SINKS MOUNTED AT THE HEIGHT OF 28IN. HOT WATER AND DRAIN PIPES UNDER SINKS SHALL BE INSULATED OR OTHERWISE COVERED. THE DEPTH OF A SINK BOWL SHALL BE NO GREATER THAN 6 1/2IN. ONLY ONE BOWL OF DOUBLE SINK NEEDS TO MEET THIS REQUIREMENT. REFER TO DETAIL 8/G0.14 AND 7/G0.14. | 23 AT 5% UNITS: PROVIDE RANGE HOOD SWITCH AT 44" HIGH FOR SIDE APPROACH ACCESS (REFER TO CBC SECTION 1136A.2) |
| 2 OVEN/RANGE, 24" WIDE, CONTROLS ON THE FRONT FACE | 12 OUTLET. REFER TO ELECTRICAL DRAWINGS | 21 AT 5% UNITS AT WORK COUNTER-REMOVABLE BASE CABINET UNDER WORK COUNTER. FINISHED FLOOR SHALL EXTEND UNDER THE COUNTER TO THE WALL. THE KNEE SPACE SHALL HAVE A MINIMUM CLEAR WIDTH OF 30 IN AND A MINIMUM CLEAR DEPTH OF 19". THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE COUNTER. REFER TO DETAIL 11/G0.14 AND 7/G0.14. | 24 AT 5% UNITS: RUN TOE KICK THROUGH AND PROVIDE PANEL AT BOTTOM AS REQUIRED FOR DROP-IN RANGE |
| 3 OVER-THE-RANGE MICROWAVE, VENTED TO EXTERIOR | 13 DISHWASHER (ENERGY STAR) | 22 AT 5% UNITS: MAXIMUM HEIGHT SHALL BE 48" FOR AT LEAST ONE SHELF OF ALL CABINETS | 25 WALL MOUNTED TELEPHONE / DATA CABLING AND PHONE JACK. REFER TO ELECTRICAL DRAWINGS |
| 4 DOUBLE COMPARTMENT KITCHEN SINK | 14 4" TOE KICK | | 26 AT 5% UNITS: OVEN/RANGE, 30" WIDE, CONTROL ON THE FRONT |
| 5 WASHER/DRYER | 15 CABINET FILLER | | 27 AT 5% UNITS: RANGE HOOD, VENTED TO EXTERIOR |
| 6 SOLID SURFACE COUNTERTOP | 16 4" BASE (SEE FINISH SCHEDULE) | | 28 NOT USED |
| 7 BAR COUNTER @ 48" AFF. REFER TO DETAIL 2 / A7.11 | 17 30"x48" FLOOR SPACE FOR SINK AND DISHWASHER | | 29 AT 5% UNITS: DISHWASHER (ENERGY STAR) MAXIMUM HEIGHT 32" |
| 8 UPPER CABINET. DOOR PULLS OR HANDLES SHALL BE MOUNTED AS CLOSE TO THE BOTTOM OF CABINET DOOR AS POSSIBLE | 18 CORNER CABINET WITH HINGED, BI-FOLD DOOR | | 30 BOTTOM OF STRUCTURE ABOVE |
| 9 BASE CABINET. DOOR PULLS OR HANDLES SHALL BE MOUNTED AS CLOSE TO THE TOP OF CABINET DOORS AS POSSIBLE | 19 REMOVABLE BASE CABINET UNDER SINK COUNTER. THE KNEE SPACE SHALL HAVE A MINIMUM CLEAR WIDTH OF 30 IN AND A MINIMUM CLEAR DEPTH OF 19" TO ALLOW FORWARD APPROACH. FINISHED FLOOR SHALL EXTEND UNDER THE COUNTER TO THE WALL. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE COUNTER. REFER TO DETAIL 9/G0.14 | | 31 COUNTERTOP WATERFALL |
| 10 ADJUSTABLE SHELVES W/ MELAMINE FINISH SHOWN DASHED | | | |



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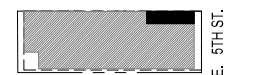
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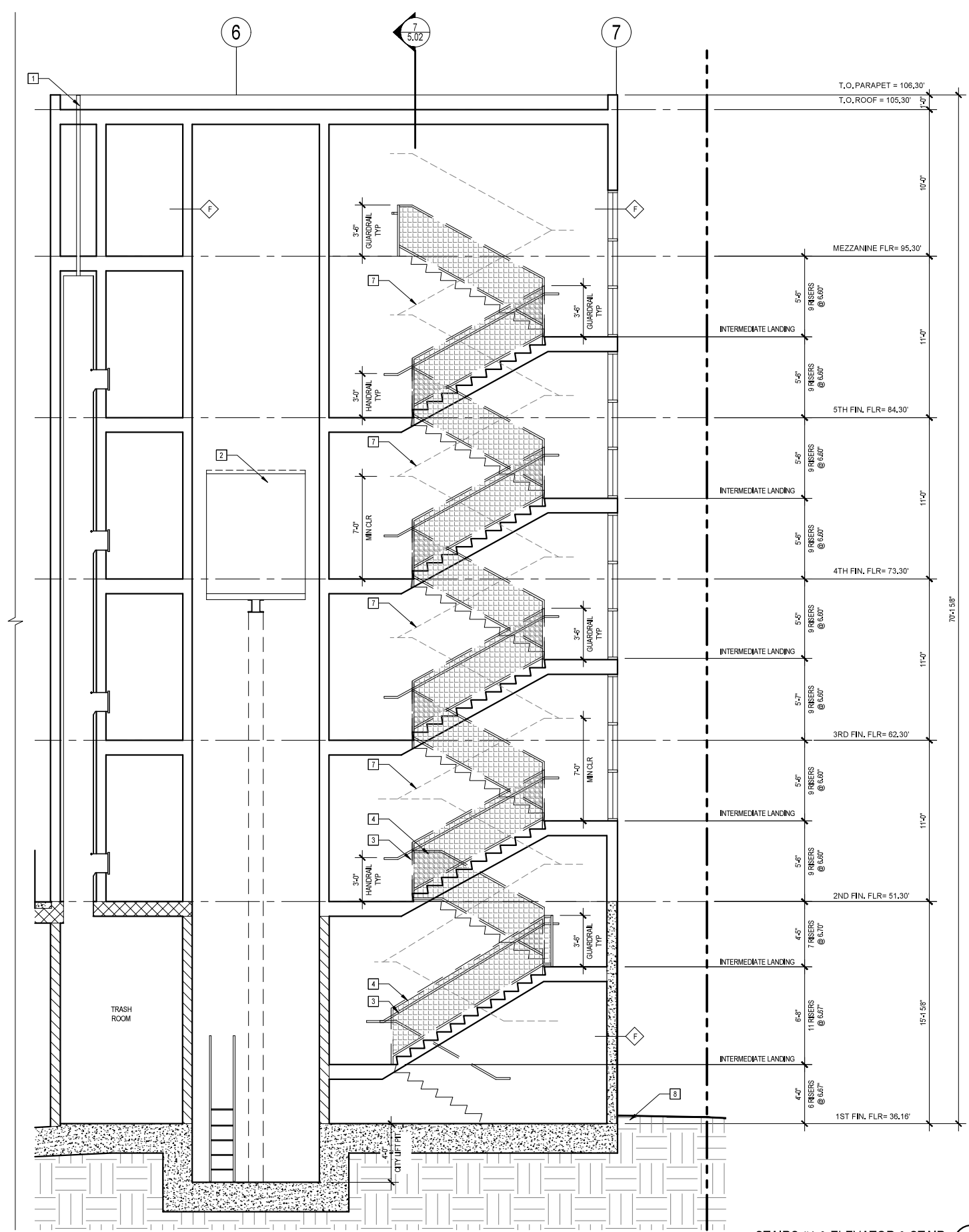
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STAIRS #1 &
ELEVATOR & TRASH

ISSUE DATE: 05.07.2018

A5.01



GENERAL NOTES:

- SEE STRUCTURAL DWGS. FOR ADDITIONAL INFO
- SEE MECH/PLUMB/ELECT. DWGS. FOR ADDITIONAL INFO
- FOR EXTERIOR DEMISING & CORRIDOR WALL TYPES REFER TO 1/8" SCALE FLOOR PLANS.
- STAIRS MUST COMPLY W/ 2016 CBC CHAPTER 10 MEANS OF EGRESS
- STAIR TREAD AND RISERS PER 2016 CBC SEC 1009.7 RISER HEIGHT MAX OF 7" AND MIN OF 4" TREAD DEPTH 11" MIN.

KEYNOTES:

- DOOR THRESHOLD @ ROOF. REFER TO DETAIL 10/A7.09
- CLASS 1 COMBINATION PIPE
- 36" HIGH HANDRAIL
- 42" HIGH GUARDRAIL
- WARNING STRIP TYP.
- ROOF HATCH, PROVIDE 16 SQ. FT. MINIMUM OF CLEAR OPENING. MINIMUM DIMENSION TO BE 2'-0" CLEAR IN ANY DIRECTION. REFER TO DETAILS X1/A7.XX
- 80" MIN STAIRWAY HEADROOM CLEARANCE
- (E) NATURAL GRADE, PER SURVEY

LEGEND:

- 2X WOOD FRAME WALL
- 1 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER
- 2 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER
- DISABLED PATH OF TRAVEL
- FINISH FLOOR ELEVATION
- WALL TYPE DESIGNATION
- DRAINAGE SLOPE
- FIRE EXTINGUISHER, SEMI-RECESSED 2A OR 2-A 10 BC RATED
- EXIT SIGN, REFER TO DETAIL 2/G0.16
- SECURITY CAMERA
- EMERGENCY EGRESS WINDOW
- FINISH MATERIALS
- SOFFIT



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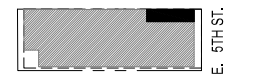
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4 2 5 E . 5 T H S T .
L O N G B E A C H , C A 9 0 8 0 2
P R O J E C T # 1 7 0 1 0

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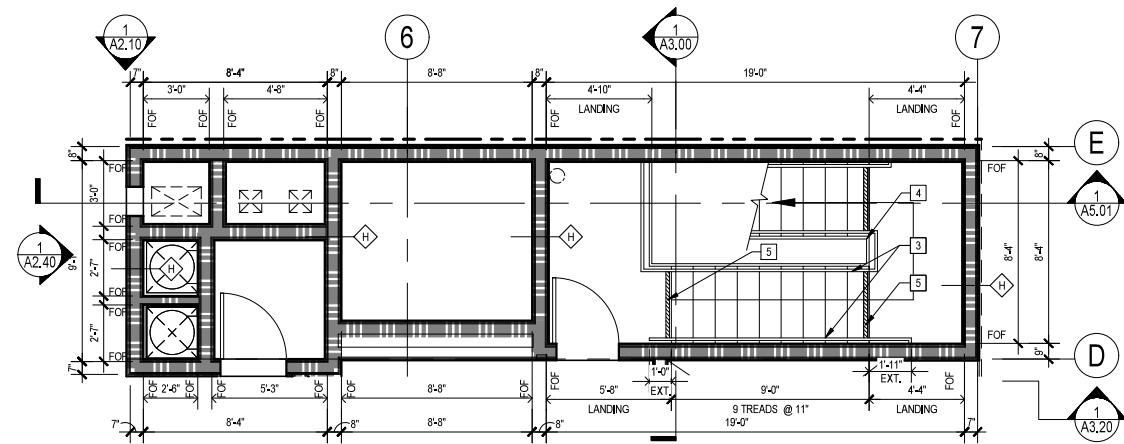
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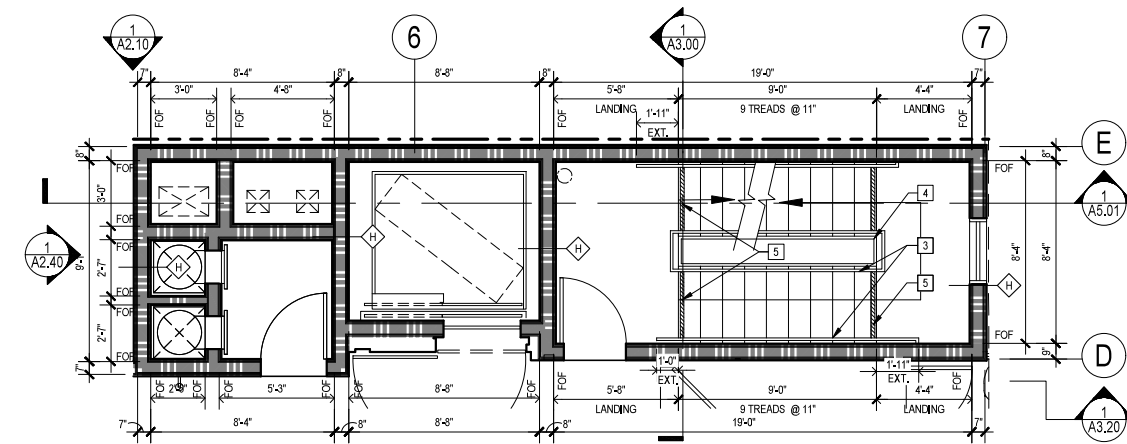
**STAIRS #1 &
ELEVATOR & TRASH**

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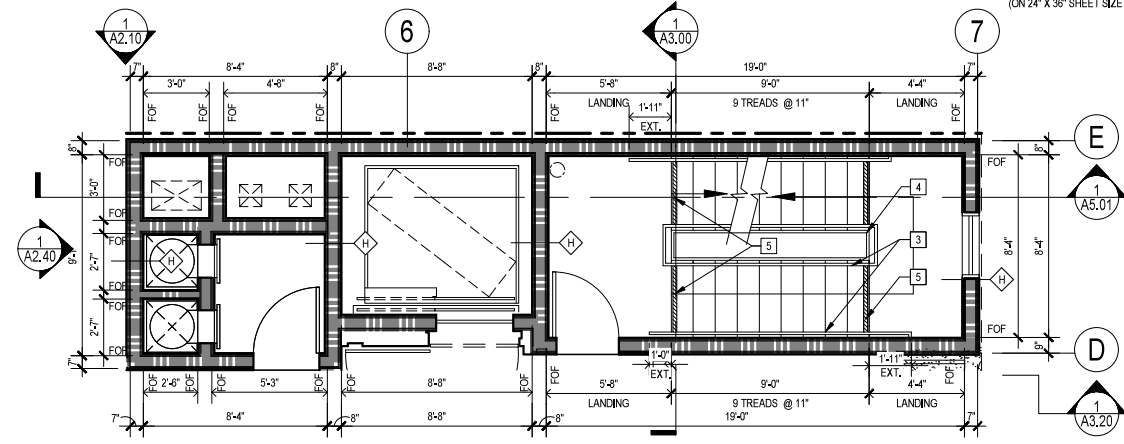
A5.02



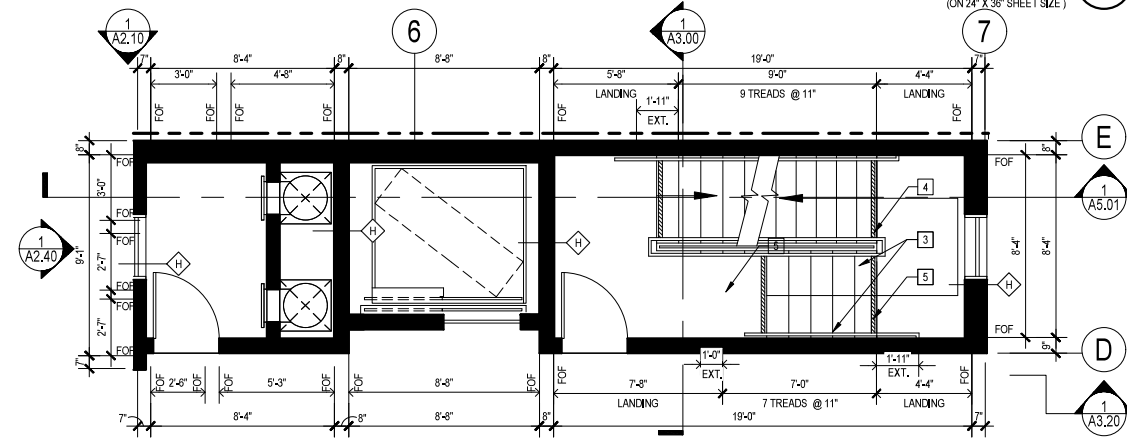
STAIRS #1 & ELEV & TRASH MEZZANINE PLAN
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)



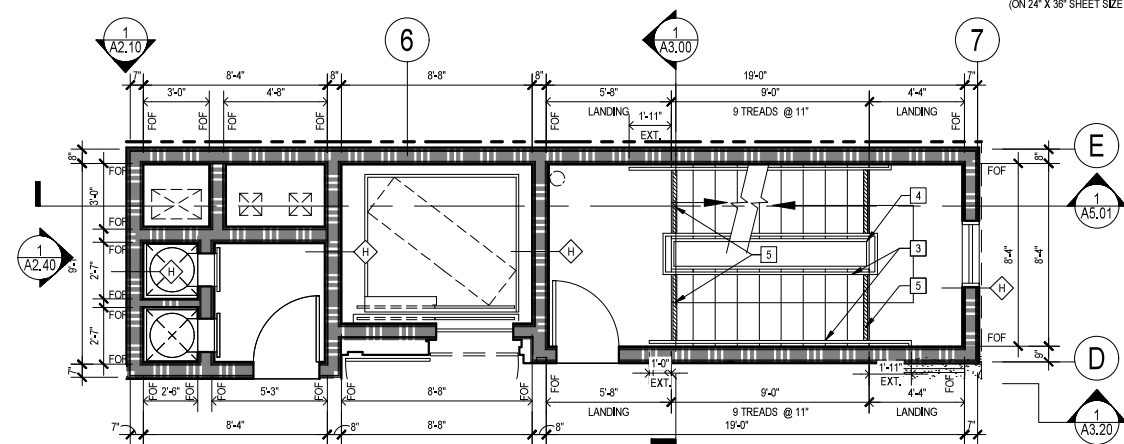
STAIRS #1 & ELEV & TRASH THIRD FLR PLAN
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)



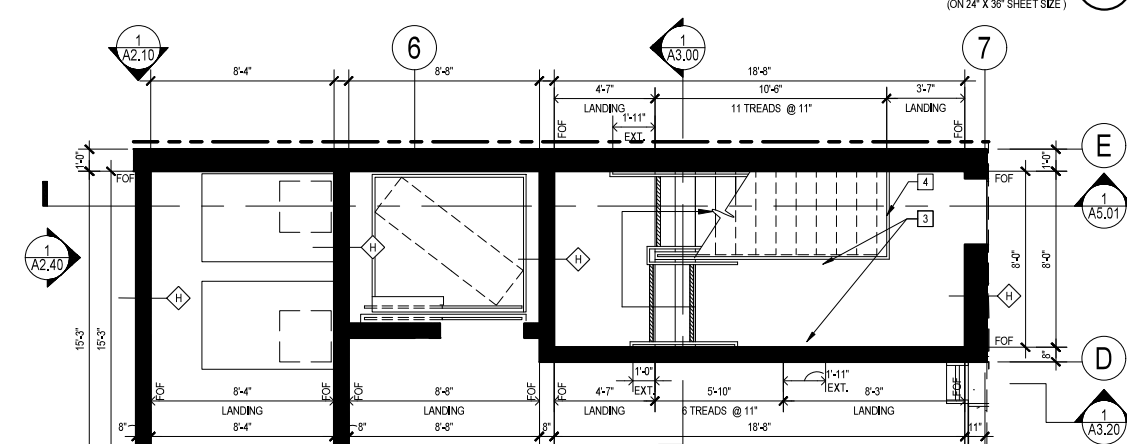
STAIRS #1 & ELEV & TRASH FIFTH FLR PLAN
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)



STAIRS #1 & ELEV & TRASH SECOND FLR PLAN
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)



STAIRS #1 & ELEV & TRASH FOURTH FLR PLAN
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)



STAIRS #1 & ELEV & TRASH FIRST FLR PLAN
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)

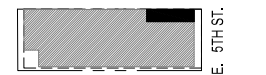
GENERAL NOTES:

KEYNOTES:

LEGEND:

- 1] DOOR THRESHOLD @ ROOF. REFER TO DETAIL 10/A7.09
- 2] CLASS 1 COMBINATION PIPE
- 3] 36" HIGH HANDRAIL
- 4] 42" HIGH GUARDRAIL
- 5] WARNING STRIP TYP.
- 6] NOT USED

- 2X WOOD FRAME WALL.
- 1 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER
- 2 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER
- DISABLED PATH OF TRAVEL.
- FINISH FLOOR ELEVATION
- WALL TYPE DESIGNATION
- DRAINAGE SLOPE
- FIRE EXTINGUISHER, SEMI-RECESSED 2A OR 2-A 10 BC RATED
- EXIT SIGN. REFER TO DETAIL 7/G0.13
- SECURITY CAMERA
- EMERGENCY EGRESS WINDOW
- FINISH MATERIALS
- SOFFIT



**STAIRS #1 &
ELEVATOR & TRASH**

ISSUE DATE: 05.07.2018

A5.02



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PACIFIC PALISADES, CA

CONSULTANT LOGO:

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APARTMENTS
425 E. 5TH ST.
LONG BEACH, CA 90802
PROJECT # 17010

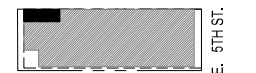
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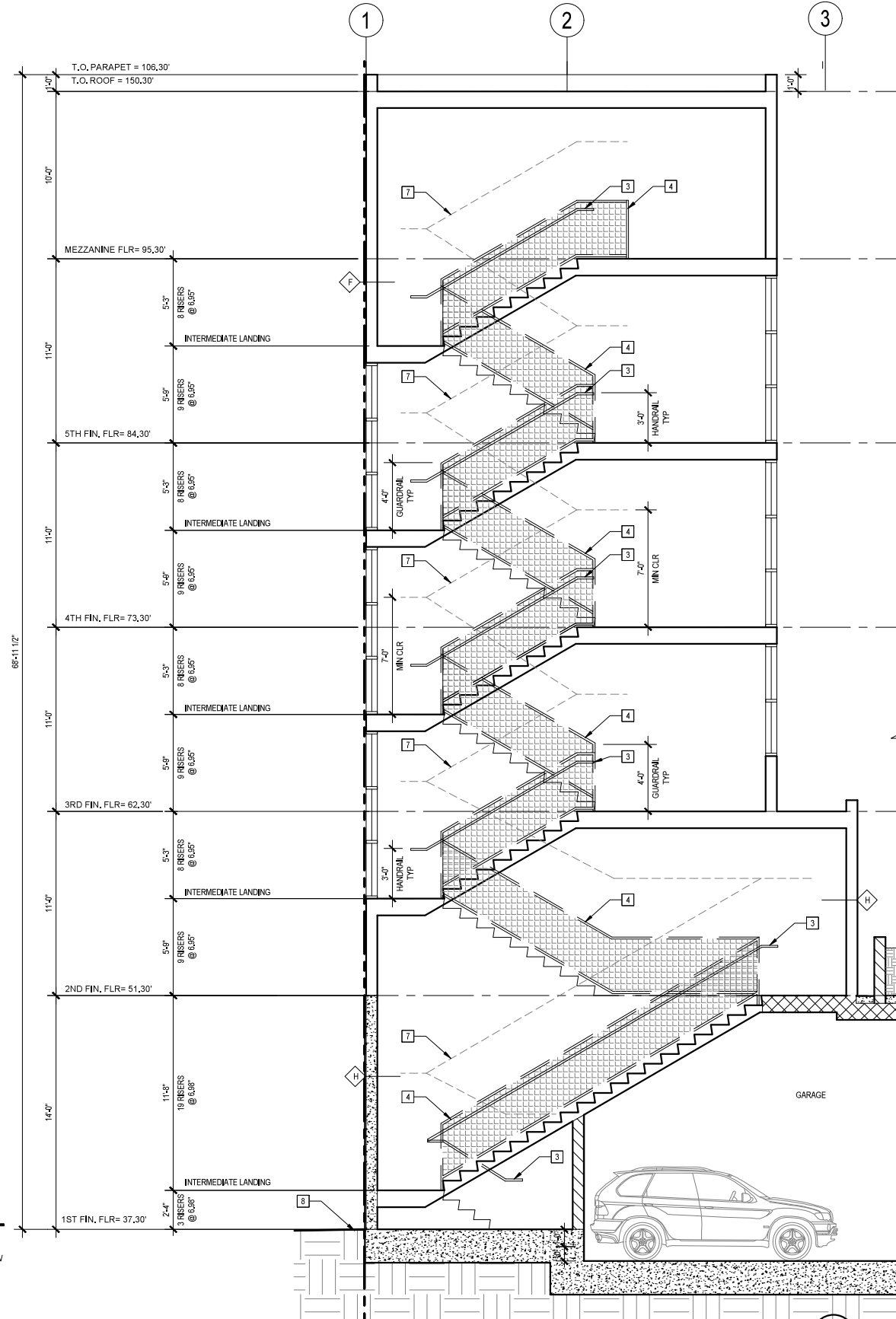
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STAIRS #2

ISSUE DATE: 05.07.2018

A5.03



STAIRS #2 SECTION
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE)

GENERAL NOTES:

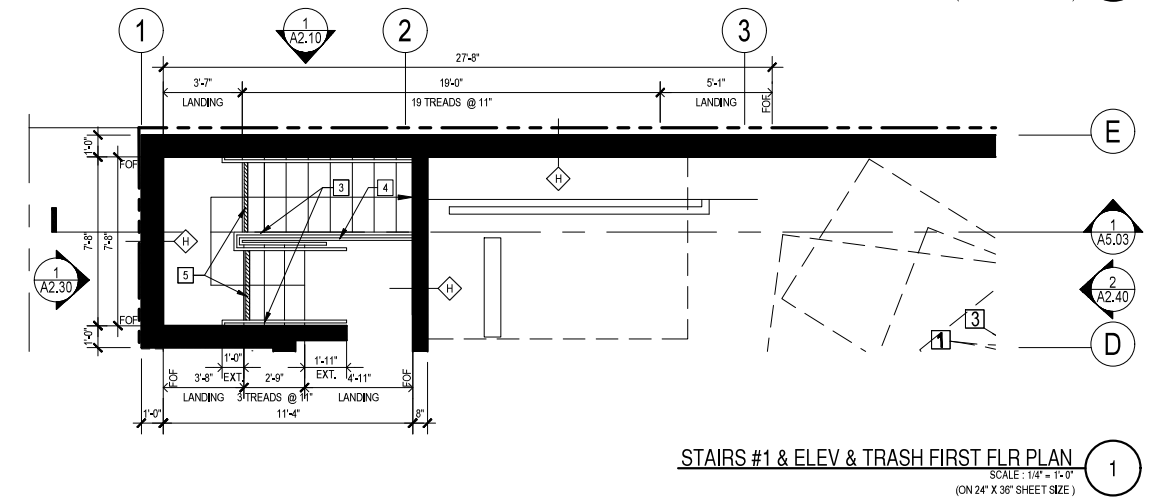
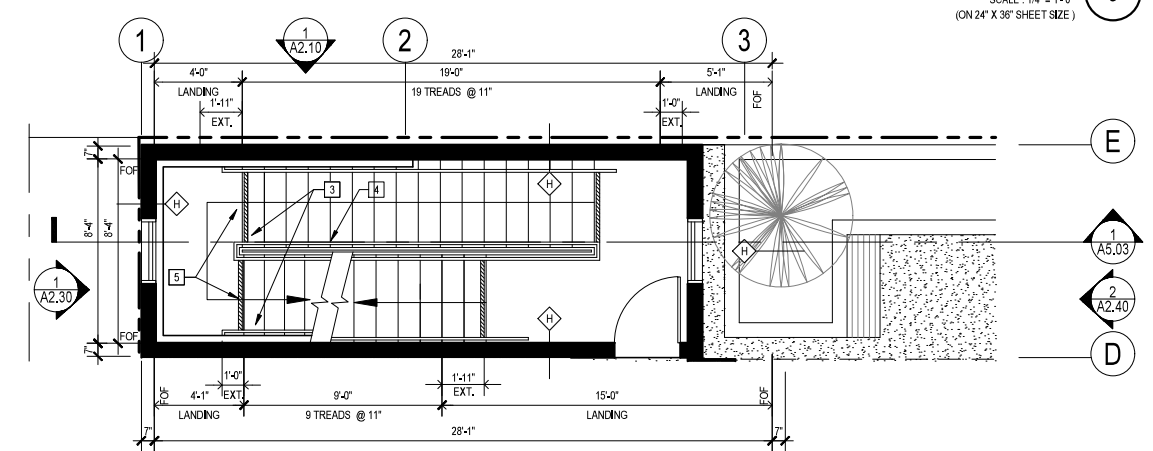
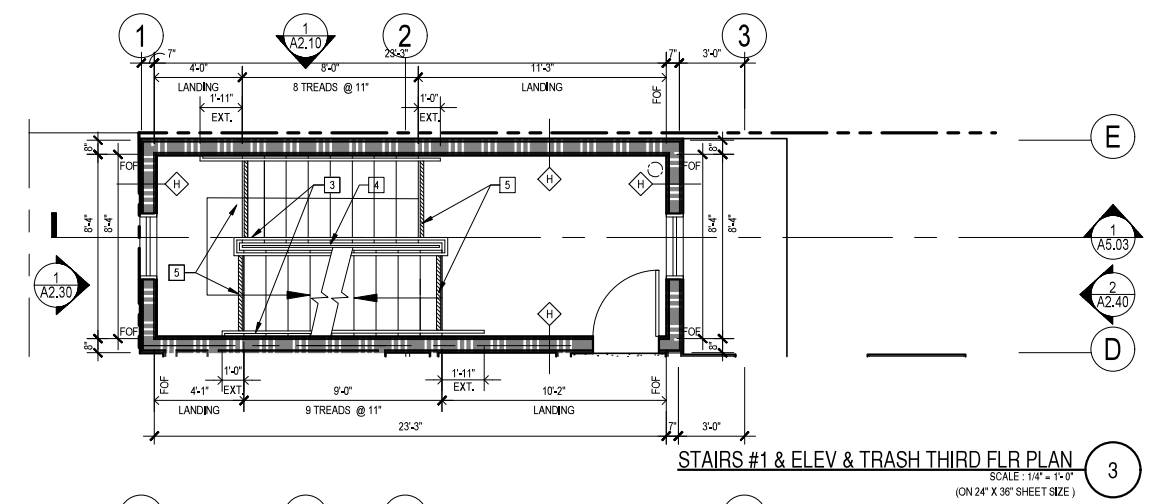
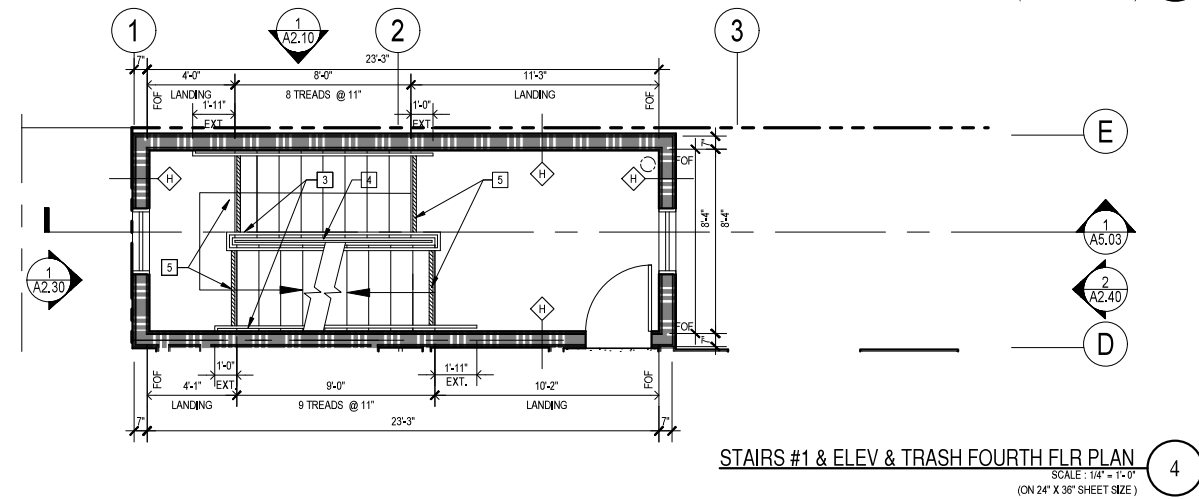
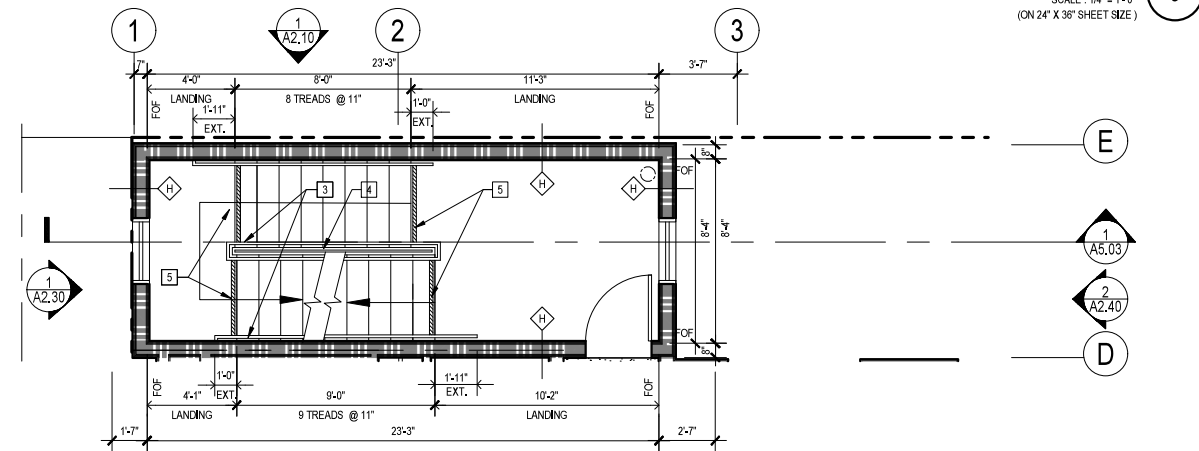
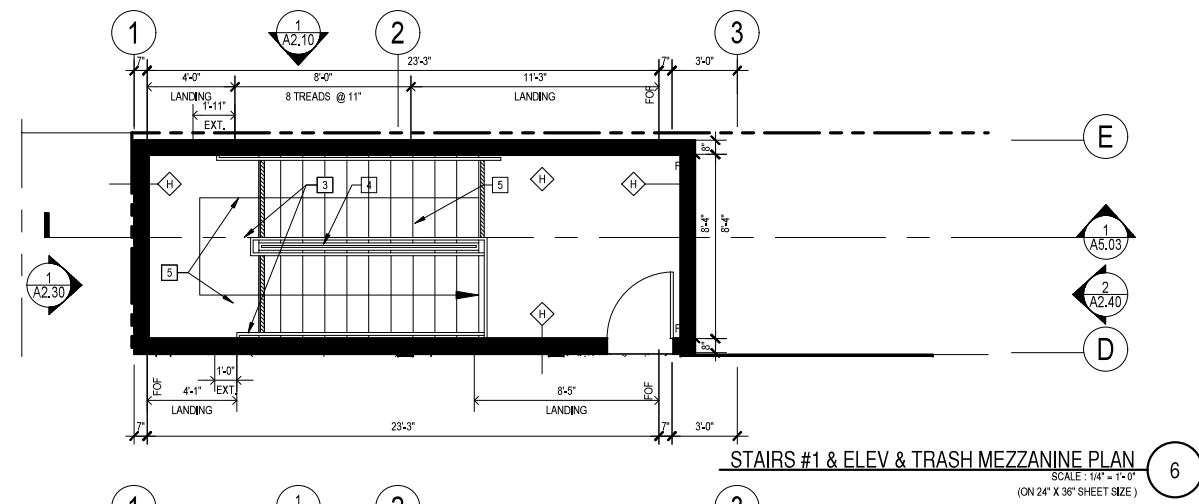
- SEE STRUCTURAL DWGS. FOR ADDITIONAL INFO
- SEE MECH/PLUMB/ELECT. DWGS. FOR ADDITIONAL INFO
- FOR EXTERIOR, DEMISING & CORRIDOR WALL TYPES REFER TO 1/8" SCALE FLOOR PLANS.
- STAIRS MUST COMPLY WITH 2016 CBC CHAPTER 10 MEANS OF EGRESS
- STAIR TREAD AND RISERS PER 2016 CBC SEC. 1009.7 RISER HEIGHT MAX OF 7" AND MIN OF 4" TREAD DEPTH 11" MIN.

KEYNOTES:

- DOOR THRESHOLD @ ROOF. REFER TO DETAIL 10/A7.09
- CLASS 1 COMBINATION PIPE
- 36" HIGH HANDRAIL
- 42" HIGH GUARDRAIL
- WARNING STRIP TYP.
- NOT USED
- 80" MIN STAIRWAY HEADROOM CLEARANCE
- (E) NATURAL GRADE, PER SURVEY

LEGEND:

- 2X WOOD FRAME WALL
- 1 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER
- 2 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER
- DISABLED PATH OF TRAVEL
- FINISH FLOOR ELEVATION
- WALL TYPE DESIGNATION
- DRAINAGE SLOPE
- FIRE EXTINGUISHER, SEMI-RECESSED 2A OR 2-A 10 BC RATED
- EXIT SIGN, REFER TO DETAIL 2/G0.16
- SECURITY CAMERA
- EMERGENCY EGRESS WINDOW
- FINISH MATERIALS
- SOFFIT



GENERAL NOTES:

KEYNOTES:

- 1 DOOR THRESHOLD @ ROOF. REFER TO DETAIL 10/A7.09
- 2 CLASS 1 COMBINATION PIPE
- 3 36" HIGH HANDRAIL
- 4 42" HIGH GUARDRAIL
- 5 WARNING STRIP TYP.
- 6 NOT USED

LEGEND:

- 2X WOOD FRAME WALL
- 1 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER
- 2 HOUR FIRE RESISTIVE CONSTRUCTION - FIRE BARRIER
- DISABLED PATH OF TRAVEL
- FINISH FLOOR ELEVATION
- WALL TYPE DESIGNATION
- DRAINAGE SLOPE
- FIRE EXTINGUISHER, SEMI-RECESSED 2A OR 2-A 10 BC RATED
- EXIT SIGN, REFER TO DETAIL 2/G0.16
- SECURITY CAMERA
- EMERGENCY EGRESS WINDOW
- FINISH MATERIALS
- SOFFIT



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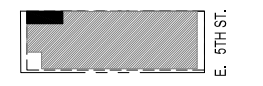
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STAIRS #2

ISSUE DATE: 05.07.2018

A5.04



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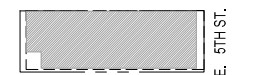
CONSULTANT LOGO:

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A P A R T M E N T S
4 2 5 E A S T H S T .
L O N G B E A C H , C A 9 0 8 0 2
P R O J E C T # 1 7 0 1 0

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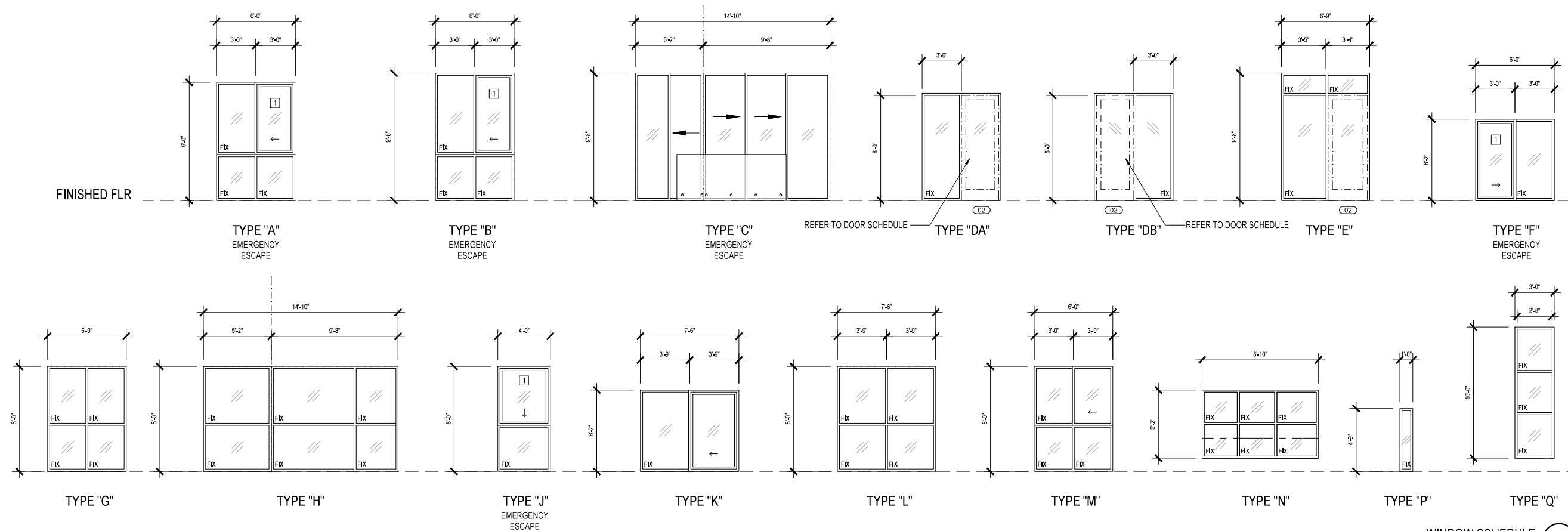
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STOREFRONT &
WINDOW SCHEDULE

ISSUE DATE: 05.07.2018

A6.01



VIRGINIA AVENUE APARTMENTS - WINDOW SCHEDULE																
TYPE	SIZE (W X H)	LIGHT	VENTILATION	LOCATION/ROOM	GLAZING	GLAZING TYPE	OPENING TYPE			DETAILS			FRAME	KEYNOTE REMARKS:		
							AWNING	CASIMENT	FIXED	SINGLE HUNG	SLIDING	HEAD			JAMB	SILL
SA	8'-0" x 9'-6"	17.56 SF	0 SF	LOBBY	DUAL	LOW E		X			3/A7.12	4/A7.12	2/A7.12	VINYL	PF	
SB	7'-6" x 6'-2"	39.86 SF	0 SF	LOBBY	DUAL	LOW E		X			3/A7.12	4/A7.12	2/A7.12	VINYL	PF	
SC	14'-7" x 6'-2"	79.41 SF	0 SF	LOBBY	DUAL	LOW E		X			3/A7.12	4/A7.12	2/A7.12	VINYL	PF	
A	6'-0" x 9'-0"	43.30 SF	16.06 SF	LIVING RM / BEDROOM	DUAL	LOW E		X	X		3/A7.10	2/A7.10	8/A7.10	VINYL	PF	1
B	6'-0" x 9'-8"	46.91 SF	19.11 SF	LIVING RM / BEDROOM	DUAL	LOW E		X	X		9/A7.10	2/A7.10	9/A7.10	VINYL	PF	1
C	14'-0" x 9'-8"	127.96 SF	143.85 SF	LIVING ROOM	DUAL	LOW E		X	X		9/A7.10	2/A7.10	9/A7.10	VINYL	PF	1
DA	3'-0" x 8'-0"	20.88 SF	0 SF	BEDROOM	DUAL	LOW E		X			3/A7.10	2/A7.10	8/A7.10	VINYL	PF	1
DB	3'-0" x 8'-0"	20.88 SF	0 SF	BEDROOM	DUAL	LOW E		X			3/A7.10	2/A7.10	8/A7.10	VINYL	PF	1
E	6'-0" x 9'-8"	33.78 SF	0 SF	LIVING ROOM	DUAL	LOW E		X			9/A7.10	2/A7.10	9/A7.10	VINYL	PF	1
F	6'-0" x 6'-2"	29.49 SF	19.11 SF	LIVING RM / BEDROOM	DUAL	LOW E		X	X		3/A7.10	2/A7.10	8/A7.10	VINYL	PF	1
G	6'-0" x 8'-0"	41.24 SF	0 SF	LIVING ROOM / LOFT	DUAL	LOW E		X			3/A7.10	2/A7.10	8/A7.10	VINYL	PF	1
H	14'-10" x 8'-0"	104.99 SF	0 SF	LOFT	DUAL	LOW E		X			3/A7.10	2/A7.10	8/A7.10	VINYL	PF	1
J	4'-0" x 8'-0"	24.36 SF	18.00 SF	LOFT	DUAL	LOW E		X			3/A7.10	2/A7.10	8/A7.10	VINYL	PF	1
K	7'-6" x 6'-2"	38.04 SF	23.75 SF	DINING	DUAL	LOW E		X	X		3/A7.10	2/A7.10	8/A7.10	VINYL	PF	1
L	7'-6" x 8'-0"	52.49 SF	0 SF	LOFT	DUAL	LOW E		X			3/A7.10	2/A7.10	8/A7.10	VINYL	PF	1
M	6'-0" x 8'-0"	40.33 SF	13.87 SF	LOFT	DUAL	LOW E		X	X		3/A7.10	2/A7.10	8/A7.10	VINYL	PF	1
N	8'-10" x 5'-2"	38.55 SF	0 SF	LOFT	DUAL	LOW E		X			3/A7.10	2/A7.10	8/A7.10	VINYL	PF	1
P	1'-0" x 4'-9"	2.97 SF	0 SF	LOFT	DUAL	LOW E		X			3/A7.10	2/A7.10	8/A7.10	VINYL	PF	1
Q	3'-0" x 10'-0"	24.88 SF	0 SF	STAIR	DUAL	LOW E		X			9/A7.12	2/A7.12	9/A7.12	VINYL	PF	

GENERAL NOTES:

- EMERGENCY ESCAPE AND RESCUE OPENING
ONE OPENABLE WINDOW WITH AN OPENABLE AREA OF NOT LESS THAN 5.7 SQ. FT., MINIMUM CLEAR 24" HEIGHT AND 20" WIDTH, AND A SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR IS REQUIRED IN ALL BEDROOMS BELOW THE FOURTH STORY AND BASEMENT. (CBC SECTION 1029)
- STORE FRONT GLASS LOCATED AT HAZARDOUS LOCATIONS PER SECTION 2406.3 SHALL BE SAFETY GLAZING MATERIAL COMPLYING WITH CBC SECTION 2406
- EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF SAFETY GLAZING PER CBC SECTION 2406:
A. SWING DOORS.
B. FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BI-FOLD CLOSET DOOR ASSEMBLIES.
C. NOT USED.
D. UNFRAMED SWINGING DOORS.
E. DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.
F. FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24 INCHES (610 MM) ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1525 MM) ABOVE THE WALKING SURFACE.
G. FIXED OR OPERABLE PANEL, OTHER THAN DESCRIBED IN ITEMS E AND F, WHICH MEETS ALL OF THE FOLLOWING CONDITIONS.

SECURITY NOTES:

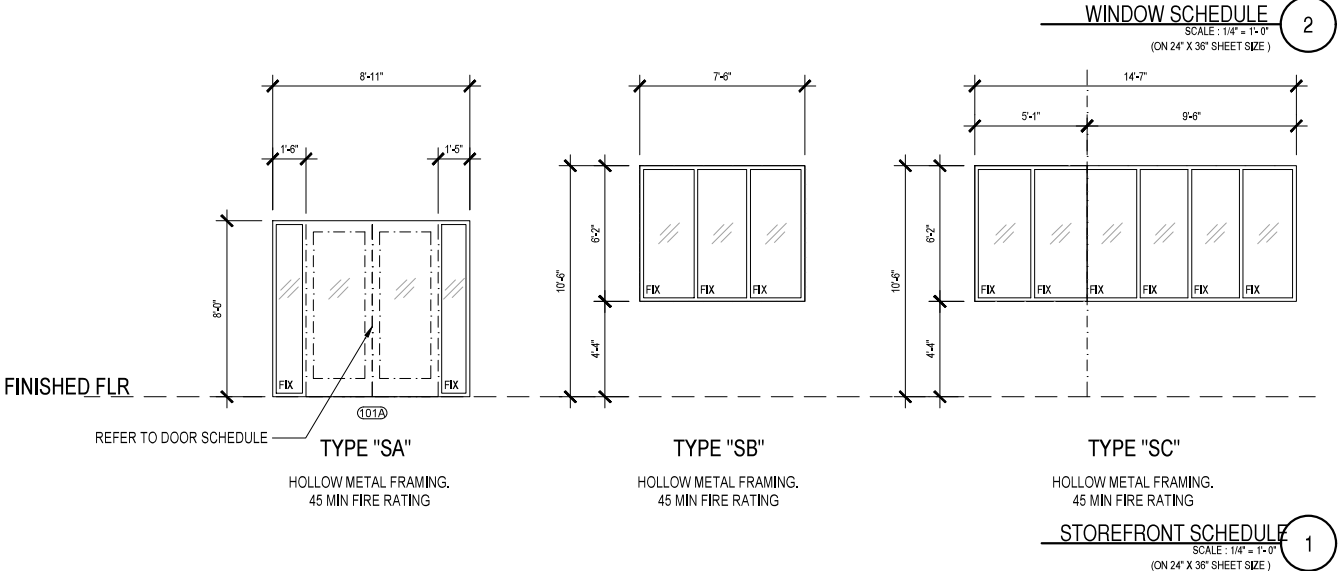
- EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET (0.84 M2)
II EXPOSED BOTTOM EDGE LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.
III EXPOSED TOP EDGE GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
IV. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE PLANE OF THE GLAZING.
- SEE SHEET A7.10 FOR TYPICAL WINDOW FLASHING AND CONTROL JOINTS AT WINDOWS.
- ALL WINDOWS TO HAVE AN QTC-23 UNLESS NOTED ON THE ARCHITECTURAL FLOOR PLANS.
- SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.
- IN B.F.M AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5" BUT LESS THAN 48" SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES.
- LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY.
- OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN B.F.M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 2" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS.
- SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN CBC SECTION 6717.2.
- ANY RELEASE FOR METAL BARS, GRILLES, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24" FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLES, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION.
- ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT MORE THAN 6" IN ONE DIMENSION.

KEYNOTES:

- 1 EMERGENCY ESCAPE

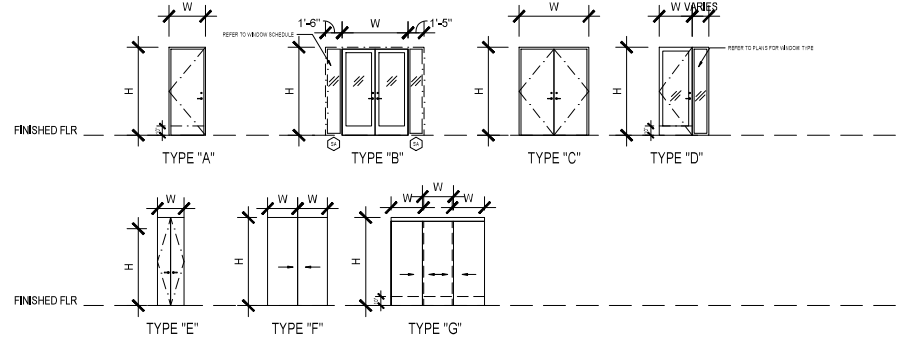
LEGEND:

- ALUM ALUMINUM
- DUAL DUAL GLAZED
- F FIXED
- FIX FIXED
- LE LOW "E" CLEAR GLAZING
- PF PRE-FINISHED AT FACTORY
- PT PAINTED
- STL STEEL
- T TEMPERED
- TEMP TEMPERED
- WG WIRED GLASS



WINDOW SCHEDULE
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE) 2

STOREFRONT SCHEDULE
SCALE: 1/4" = 1'-0"
(ON 24" X 36" SHEET SIZE) 1



DOOR SCHEDULE
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

5TH STREET APARTMENTS DOOR SCHEDULE															
ROOM NAME	DOOR NUMBER	DOOR TYPE	DOOR SIZE X H X THK	MATERIAL	FINISH	RATING (MINUTES)	GLAZING	HARDWARE GROUP	DETAILS ON SHT A7.09 U.N.O.			KEYNOTE REMARKS			
									HEAD	JAMB	THRESHOLD				
FIRST FLOOR															
STAIR #1	ST1A	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	90 MIN	-	182	5	5	4	HM	PT	-	1,4,5,8,11
STAIR #2	ST2A	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	90 MIN	-	182	5	5	4	HM	PT	-	1,4,5,8,11
LOBBY ENTRY	101A	B	(2) 3'-0" x 9'-4" x 1-3/4"	HM	PT	20 MIN	-	115	6	6	4	HM	PT	-	1,2,6,10,15
GARAGE DOOR	103A	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	NR	-	43	5	5	4	HM	PT	-	
GARAGE DOOR	103B	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	NR	-	43	5	5	4	HM	PT	-	
ELECTRICAL ROOM	104A	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	60 MIN	-	180	5	5	4	HM	PT	-	
ELECTRICAL ROOM	104B	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	NR	-	52	5	5	4	HM	PT	-	
SECOND FLOOR															
STAIR #1	ST1B	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	90 MIN	-	480R	5	5	1	HM	PT	-	1,2
STAIR #2	ST2B	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	90 MIN	-	480R	5	5	1	HM	PT	-	1,2
ELEVATOR	ELVA	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	45 MIN	-	A585	8	8	1	HM	PT	-	1,4,5,7
CORRIDOR	200A	C	6'-0" x 8'-0" x 1-3/4"	HM	PT	45 MIN	FL	A485	8	8	1	HM	PT	-	1,4,5,7
TRASH CHUTE ROOM	205A	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	45 MIN	-	450	5	5	1	HM	PT	-	1,4,5
THIRD FLOOR															
STAIR #1	ST1C	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	90 MIN	-	182	3	3	2	HM	PT	-	1,2
STAIR #2	ST2C	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	90 MIN	-	182	3	3	2	HM	PT	-	1,2
ELEVATOR	ELVB	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	20 MIN	-	115		3	2	HM	PT	-	1,2,6,10,15
CORRIDOR	300A	C	6'-0" x 8'-0" x 1-3/4"	HM	PT	45 MIN	-	152	3	3	2	HM	PT	-	1,2
TRASH CHUTE ROOM	305A	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	45 MIN	-	152	3	3	2	HM	PT	-	1,2
FOURTH FLOOR															
STAIR #1	ST1D	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	90 MIN	-	182	3	3	2	HM	PT	-	1,2
STAIR #2	ST2D	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	90 MIN	-	182	3	3	2	HM	PT	-	1,2
ELEVATOR	ELVC	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	20 MIN	-	115	3	3	2	HM	PT	-	1,2,6,10,15
CORRIDOR	400A	C	6'-0" x 8'-0" x 1-3/4"	HM	PT	45 MIN	-	152	3	3	2	HM	PT	-	1,2
TRASH CHUTE ROOM	405A	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	45 MIN	-	152	3	3	2	HM	PT	-	1,2
FIFTH FLOOR															
STAIR #1	ST1E	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	90 MIN	-	182	3	3	2	HM	PT	-	1,2
STAIR #2	ST2E	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	90 MIN	-	182	3	3	2	HM	PT	-	1,2
ELEVATOR	ELVD	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	20 MIN	-	115	3	3	2	HM	PT	-	1,2,6,10,15
CORRIDOR	500A	C	6'-0" x 8'-0" x 1-3/4"	HM	PT	45 MIN	-	152	3	3	2	HM	PT	-	1,2
TRASH CHUTE ROOM	505A	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	45 MIN	-	152	3	3	2	HM	PT	-	1,2
MEZZANINE															
STAIR #1	ST1F	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	90 MIN	-	451	3	3	7	HM	PT	-	1,4,5,11
STAIR #2	ST2F	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	90 MIN	-	451	3	3	7	HM	PT	-	1,4,5,11
ELEVATOR EQUIP. ROOM	605A	A	3'-0" x 8'-0" x 1-3/4"	HM	PT	45 MIN	-	451	3	3	7	HM	PT	-	1,4,5,11
UNITS															
ENTRY	1	D	3'-0" x 8'-0" x 1-3/4"	IIM	PT	20 MIN	-	U01	3	3	2	HM	PT	FL	1,2,5,11,12 (12" SIDELITE)
BALCONY	2	D	3'-0" x 8'-0" x 1-3/4"	FGLS	PF	NR	-		9	9	2	FGLS	PF	-	1,2,5,11
BEDROOMS	3	A	3'-0" x 8'-0" x 1-3/4"	FGLS	PF	NR	-	U03	9	9	2	FGLS	PF	-	1,2,5,11
BATHROOMS	4	A	3'-0" x 8'-0" x 1-3/4"	FGLS	PF	NR	-	U10	9	9	2	FGLS	PF	-	1,2,5,11
CLOSET	5	A	3'-0" x 8'-0" x 1-3/4"	SCHB	PT	NR	-	U03	11	11	-	WD	PT	-	
LAUNDRY	6	E	2'-2 1/2" x 8'-0" x 1-3/8"	SCHB	PT	NR	-	U03	11	11	10	WD	PT	-	
LAUNDRY	7	E	2'-6" x 8'-0" x 1-3/8"	HCHB	PT	NR	-	U04	11	11	-	WD	PT	-	
WARDROBE	8	F	(2) 3'-0" x 8'-0" x 1-3/8"	HCHB	PT	NR	-	U04	11	11	-	WD	PT	-	
CLOSET	9	A	2'-0" x 8'-0" x 1-3/8"	HCHB	PT	NR	-	U11	12	12	12	WD	PT	-	13,14
WARDROBE	10	G	(3) 3'-5" x 8'-0" x 1-3/8"	HCHB	PT	NR	-	U11	12	12	12	WD	PT	-	13,14
GAS CLOSET	11	A	1'-6" x 8'-0" x 1-3/8"	HCHB	PT	NR	-		13	13	13	WD	PT	-	

GENERAL NOTES:

- DOORS LOCATED IN A 1-HOUR CORRIDOR SHALL BE PROTECTED BY A 20-MINUTE DOOR ASSEMBLY, SELF-CLOSING SMOKE AND DRAFT CONTROL DOOR AND FRAME ASSEMBLY SHALL BEAR AN APPROVED LABEL FOLLOWED BY THE LETTER "S" (CBC SEC. 715.4.3.1 & 715.4.8.3).
- EXIT DOORS INCLUDING THOSE SERVING INDIVIDUAL DWELLING UNITS OR GUEST ROOMS SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT (CBC SEC. 1008.1.9.3.4), MANUALLY OPERATED EDGE- OR SURFACE FLUSH BOLTS AND SURFACE BOLTS OR ANY OTHER DEVICE THAT MAY BE USED TO CLOSE OR RESTRAIN THE DOOR OTHER THAN BY OPERATION OF THE LOCKING DEVICE SHALL NOT BE USED (CBC SEC. 1008.1.9.4). THE UNLATCHING OF ANY LEAF, SINGLE OR DOUBLE, SHALL NOT REQUIRE MORE THAN ONE OPERATION (CBC SEC. 1008.1.9.5). DEAD BOLTS SHALL NOT BE PERMITTED UNLESS THE DOOR IS OPERABLE IN ONE OPERATION.
- STORE FRONT GLASS LOCATED AT HAZARDOUS LOCATIONS PER SECTION 2406.3 SHALL BE SAFETY GLAZING MATERIAL COMPLYING WITH CBC SECTION 2406.4.
- PROVIDE CLEAR WIDTH OF 32" AT DOORS TO ALL INTERIOR ACCESSIBLE ROOMS.
- THE BOTTOM 10 INCHES OF ALL DOORS AND/OR GATES SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR OR GATE TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE CBC SECTION 1008.1.9. SEE CBC SECTION 1008.1.9.3 FOR EXCEPTIONS.
- DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISH FLOOR.
- ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH CBC SECTION 1008.1.9-1008.1.9.7.
- ALL ELECTRICAL, MECHANICAL AND ELEVATOR MACHINE ROOMS SHALL HAVE A SIGN IDENTIFYING THEIR USE, REFER TO G0.15
- ELECTRICAL ROOMS WITH EQUIPMENT RATED AT 1200 AMPS OR MORE REQUIRED PANIC HARDWARE UL10C AND UL305 LISTED.

SECURITY NOTES:

- WOOD FLUSH-TYPE DOORS AT SECURE LOCATIONS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. (CBC SEC. 6709.1) DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB. (CBC SEC. 6709.4)
- ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MINIMUM 7/8" DIA. STEEL JAMB STUD WITH 1/2" MIN. PROTECTION. (CBC SEC. 6709.5) THE STRIKE PLATE FOR LATCHES AND HOLDING SERVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2 1/2" LONG (CBC SEC. 6709.7).
- PROVIDE DEAD BOLTS WITH HARDENED INSERTS - DEADBLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPENABLE FROM INSIDE WITHOUT KEY. SPECIAL KNOWLEDGE OR SPECIAL EFFORT. THE UNLOCKING OF ANY EXIT DOOR SHALL NOT REQUIRE MORE THAN ONE OPERATION. (LATCH NOT REQUIRED IN B,F, AND S OCCUPANCIES) (CBC SEC. 6709.2)
- STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 6/8". AND A HOOK-SHAPED OR AN EXPANDING-C/LG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4" (CBC SEC. 6709.2).
- WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 3/8" THICK WITH SHAPED PORTIONS NOT LESS THAN 1/2" THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 sq. in. AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18" LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2" WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8" AND 3" IN WIDTH (CBC SEC. 6709.1.2).
- SLIDING DOORS SHALL BE PROVIDED WITH THE DEVICE WHICH THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS (CBC SEC. 6712).
- SLIDING GLASS DOORS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED (CBC SEC. 6710).
- METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 1/2" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL HASPS, METAL SLID BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED BY AN ELECTRICAL POWER OPERATION (CBC SEC. 6711).
- PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS, CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS (CBC SEC. 6712).
- GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2" IN THEIR GREATEST DIMENSIONS (CBC SEC. 6713).
- FIRE DOORS AND FIRE-PROTECTION RATED GLAZING SHALL BEAR LABELS AS REQUIRED BY CBC 715.4.5 AND 715.4.3
- ALL RATED DOORS THAT HAVE PANIC HARDWARE SHALL BE LISTED AS FIRE EXIT HARDWARE WITH LABEL AND UL 305

KEYNOTES:

- AUTOMATIC DOOR CLOSER
- SMOKE GASKET
- PANIC HARDWARE
- WEATHER STRIPPING
- THRESHOLD
- MAGNETIC HOLD OPEN
- ELECTRONIC LATCH
- NON REMOVABLE PINS
- PROVIDE 4-SIDED FRAME & CASING
- ACOUSTIC SEAL
- DOOR SHOE WEATHER STRIPPING
- DOOR VIEWER
- BI-PASS HARDWARE
- 1x4 MDF BUMPER JAMBS
- DOORS TESTED IN ACCORDANCE WITH UL 1784 (CBC 708.14.1, EXCEPTION 3), DOORS TO BE READILY OPENABLE FROM THE CAR SIDE WITHOUT A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT (CBC 3002.6), DOORS TO MEET STANDARDS NFPA 80 AND NFPA105.

LEGEND:

- ALUM ALUMINUM
- BJ BUMPER JAMB (1X4 MDF)
- DG DUAL GLAZING
- FGLS FIBERGLASS
- GALV GALVANIZED (HOT-DIPPED)
- HB HARD BOARD
- HC HOLLOW CORE
- HM HOLLOW METAL
- HM2 PRE-FINISHED HOLLOW METAL FRAME (TIMELY)
- HOM HOLD OPEN MAGNET
- LE LOW E" DUAL GLAZING, TEMPERED
- NR NOT RATED
- PF NOT-FINISHED
- PT PAINTED
- SC SOLID CORE
- SG SINGLE GLAZING
- STL STEEL
- T TEMPERED
- TEMP TEMPERED
- FL FIRELITE
- WD WOOD



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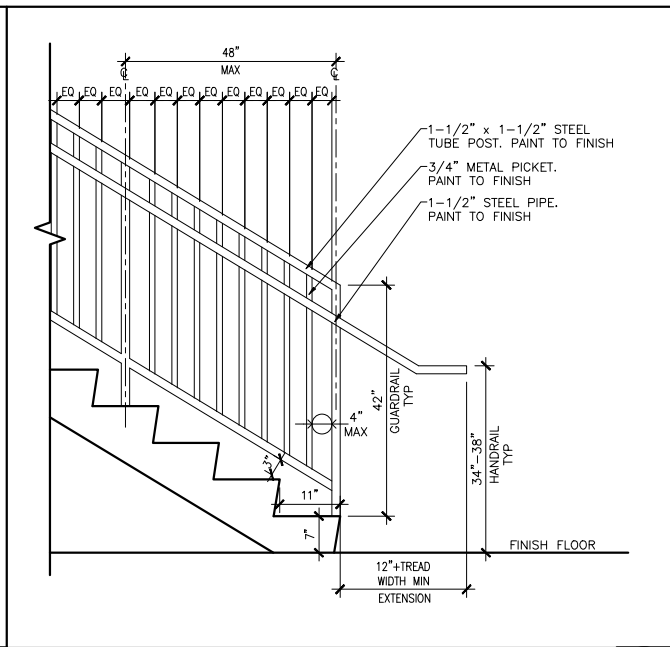
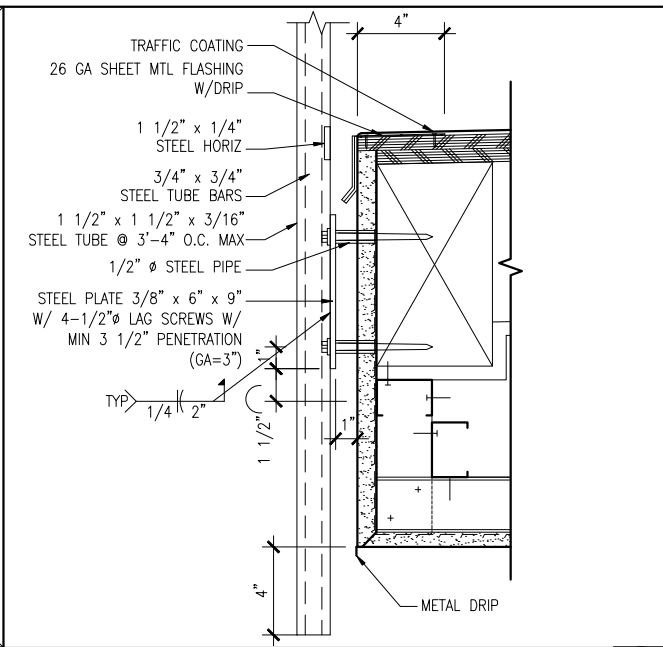
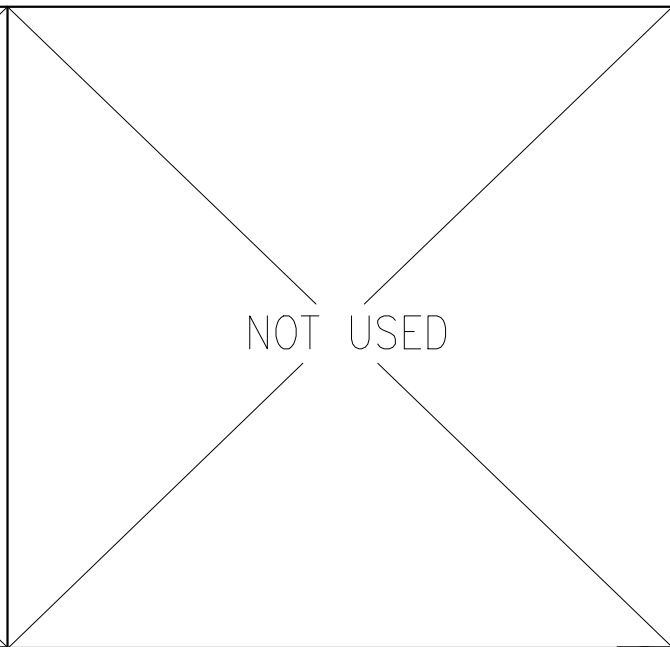
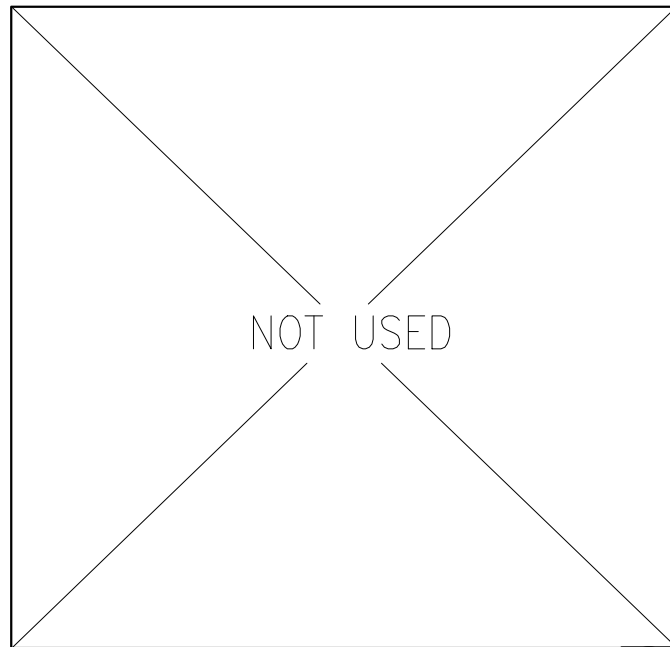
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DOOR SCHEDULE

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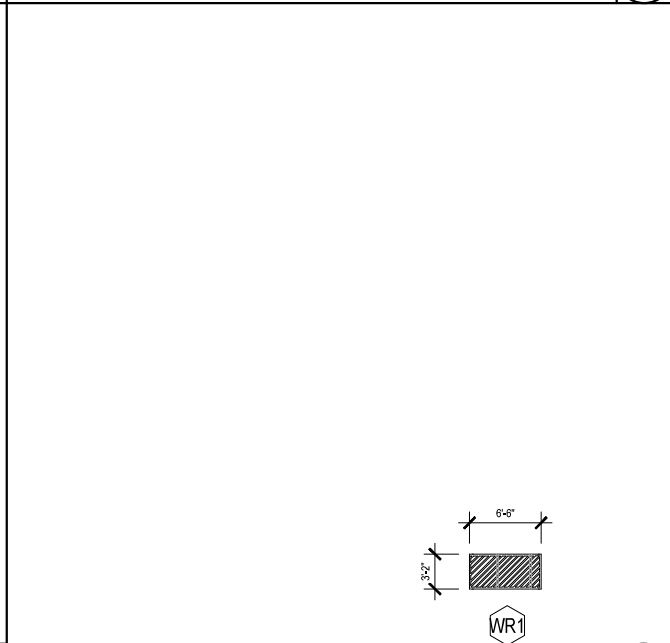
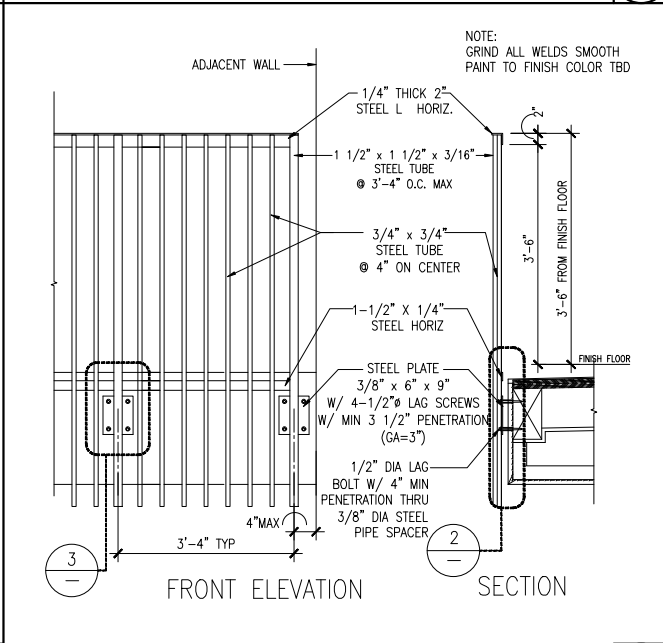
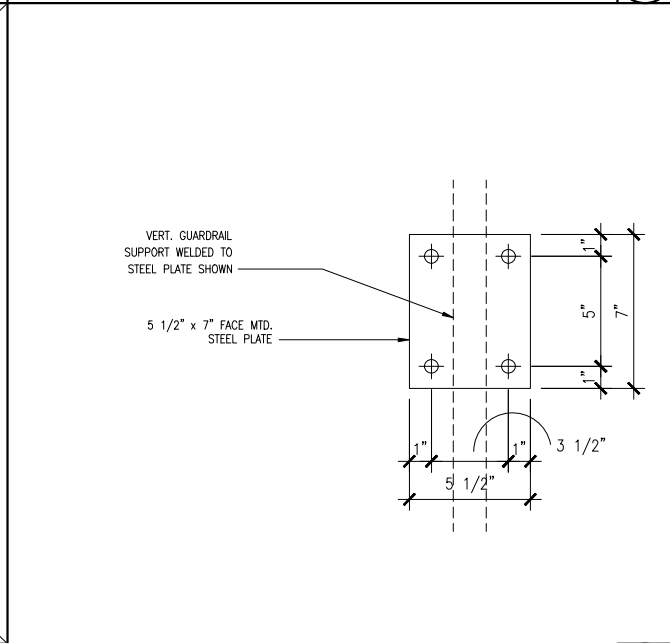
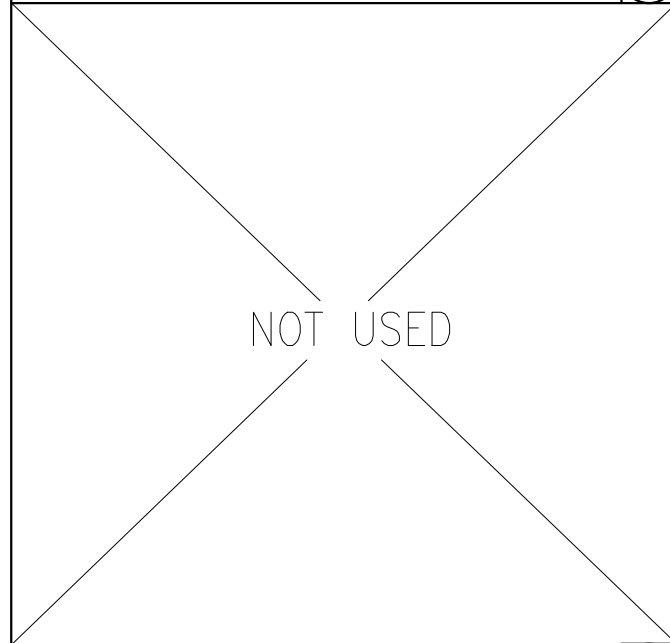


NOT USED SCALE: 6" = 1'-0" 6

NOT USED SCALE: NTS 6

RAILING SYSTEM @ BALCONIES SCALE: 3" = 1'-0" 4

GUARDRAIL SCALE: 3" = 1'-0" 6



NOT USED SCALE: 6" = 1'-0" 6

RAILING SYSTEM MOUNTING PLATE @ BALCONIES SCALE: 3" = 1'-0" 5

RAILING SYSTEM @ BALCONY SCALE: 3/4" = 1'-0" 3

RAILING SCHEDULE SCALE: 1/8" = 1'-0" (ON 24" X 36" SHEET SIZE) 1



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KEYNOTES:

LEGEND:



WROUGHT IRON
SCHEDULE & DETAILS

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A6.03

GENERAL NOTES:

1. WALL, FLOOR AND CEILING SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE-803.9
2. GYPSUM BOARD FINISHED WALLS AND CEILINGS SHALL RECEIVE A LIGHT ORANGE PEEL TEXTURED FINISH, UNLESS NOTED OTHERWISE. FINISH LEVELS SHALL BE LEVEL 3 UNITS, LEVEL 4 AT COMMON AREAS, AND LEVEL 2 AT STAIRS.
3. ALL NEW CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM
4. 50% OF THE TOTAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC LIMITS OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFLC) FLOOR SCORE PROGRAM
5. ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM
6. NONABSORBENT INTERIOR FLOOR AND WALL FINISHES SHALL BE USED WITHIN AT LEAST TWO FEET AROUND AND PERPENDICULAR TO EXTERIOR ENTRANCES AND/OR OPENING SUBJECT TO FOOT TRAFFIC



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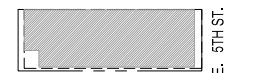
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**TABLE 803.5
INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY***

GROUP	SPRINKLERED ¹			NONSPRINKLERED ^m		
	Exit enclosures and exit passageways ^{a,b}	Corridors	Rooms and enclosed spaces ^c	Exit enclosures and exit passageways ^{a,b}	Corridors	Rooms and enclosed spaces ^c
A-1 & A-2	B	B	C	A	A ^d	B ^e
A-3 ^f , A-4, A-5	B	B	C	A	A ^d	C
B, E, M, R-1, R-4	B	C	C	A	B	C
F	C	C	C	B	C	C
H	B	B	C ^g	A	A	B
I-1	B	C	C	A	B	B
I-2, I-2.1	B	B ⁱ	B ^{h, i}	A	A	B
I-3	A	A ^j	B	—	—	—
I-4	B	B	B ^{h, i}	A	A	B
R-2	C	C	C	B	B	C
R-3, R301	C	C	C	C	C	C
S	C	C	C	B	B	C
U	No restrictions			No restrictions		

For SI: 1 inch = 25.4 mm, 1 square foot = 0.0929 m².

- Class C interior finish materials shall be permitted for wainscoting or paneling of not more than 1,000 square feet of applied surface area in the grade lobby where applied directly to a noncombustible base or over furring strips applied to a noncombustible base and fireblocked as required by Section 803.4.1.
- In exit enclosures of buildings less than three stories in height of other than Group I-3, Class B interior finish for nonsprinklered buildings and Class C interior finish for sprinklered buildings shall be permitted.
- Requirements for rooms and enclosed spaces shall be based upon spaces enclosed by partitions. Where a fire-resistance rating is required for structural elements, the enclosing partitions shall extend from the floor to the ceiling. Partitions that do not comply with this shall be considered enclosing spaces and the rooms or spaces on both sides shall be considered one. In determining the applicable requirements for rooms and enclosed spaces, the specific occupancy thereof shall be the governing factor regardless of the group classification of the building or structure.
- Lobby areas in Group A-1, A-2 and A-3 occupancies shall not be less than Class B materials.
- Class C interior finish materials shall be permitted in places of assembly with an occupant load of 300 persons or less.
- For places of religious worship, wood used for ornamental purposes, trusses, paneling or chancel furnishing shall be permitted.
- Class B material is required where the building exceeds two stories.
- Class C interior finish materials shall be permitted in administrative spaces.
- Class C interior finish materials shall be permitted in rooms with a capacity of four persons or less.
- Class B materials shall be permitted as wainscoting extending not more than 48 inches above the finished floor in corridors.
- Finish materials as provided for in other sections of this code.
- Applies when the exit enclosures, exit passageways, corridors or rooms and enclosed spaces are protected by a sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2.
- [SFM] Not permitted for Group I-3.

LEGEND:

- | | |
|------|------------------------|
| B | BASE, BASEBOARD |
| CMU | CONCRETE MASONRY UNIT |
| CONC | CONCRETE |
| CPT | CARPET |
| PT | PAINT |
| RBR | RUBBER |
| VCT | VINYL COMPOSITION TILE |
| VNVL | SHEET VINYL FLOORING |



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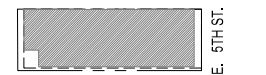
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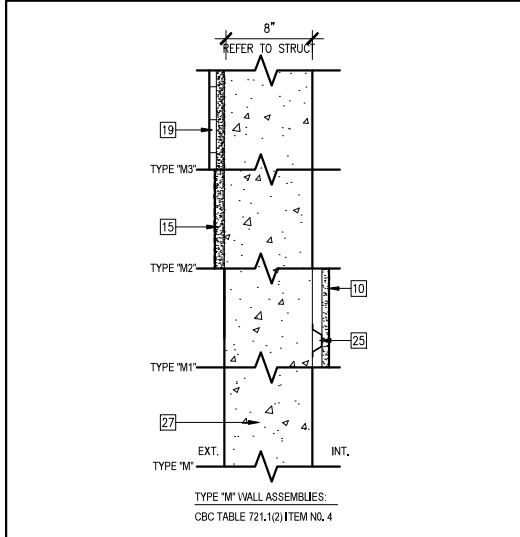
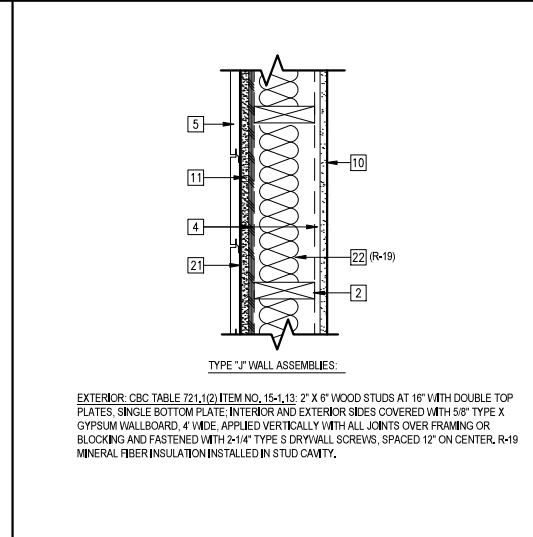
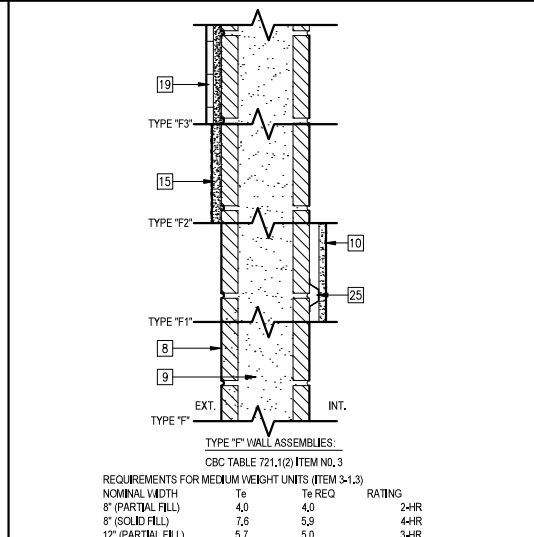
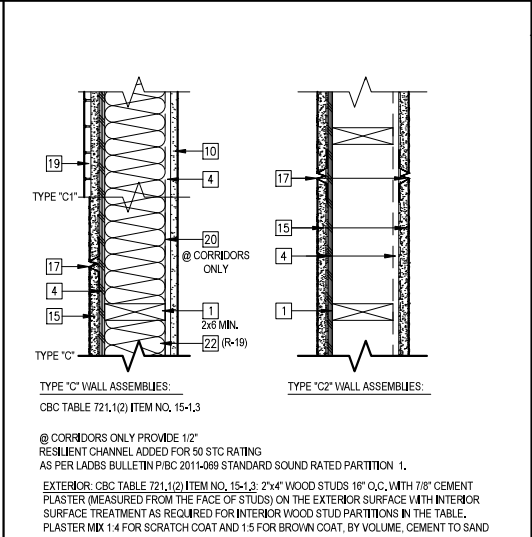
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KEYNOTES

- WOOD STRUCTURAL FRAMING, REFER TO STRUCT DWGS FOR SIZE AND SPACING.
- 2x6 WOOD FRAMING @ 16" OC
- 2x6 WOOD PLATES WITH 2X4 STAGGERED STUDS @ 16" OC EACH SIDE, REFER TO STRUCT DWGS
- PLYWOOD SHEAR PANEL WHERE OCCURS REFER TO STRUCT DWGS FOR THICKNESS, DETAILS AND LOCATIONS.
- EXTERIOR METAL SIDING
- 2-1/2", 25 GA C-T METAL STUD FRAMING
- 3-5/8", 25 GA METAL STUDS
- CONCRETE MASONRY WALL- SEE STRUCTURAL FOR SIZE AND DETAILS. SEE FINISH SCHEDULE/ ELEVATIONS FOR FINISH.
- SOLID GROUT FILL AS REQUIRED PER STRUCT DWGS AND/OR FIRE RATINGS.
- 5/8" TYPE X GYPSUM BOARD
- 5/8" TYPE X EXTERIOR GYPSUM SHEATHING
- (2) LAYERS 5/8" TYPE X GYPSUM BOARD
- (2) LAYERS 5/8" TYPE X EXTERIOR GYPSUM SHEATHING
- 1" TYPE "X" GYPSUM SHAFTLINER PANEL
- 7/8" EXTERIOR CEMENT PLASTER FINISH OVER SELF-FURRED EXTERIOR LATH OVER WEATHER-RESISTIVE BARRIER
- 7/8" EXTERIOR CEMENT PLASTER FINISH
- EXTERIOR CEMENT PLASTER EXPANSION JOINT. REFER TO ELEVATIONS FOR LOCATIONS
- SILICEOUS AGGREGATE CONCRETE WALL REFER TO STRUCT DWGS FOR SIZING, DETAILS AND LOCATION.
- 5/8" MODULAR THIN BRICK OVER 3/4" THICK MORTAR BED, OVER LATH, OVER WEATHER-RESISTIVE BARRIER
- 1/2" RESILIENT CHANNEL @ 24" OC @ WALLS AND 16" OC AT CLGS
- WEATHER RESISTIVE BARRIER
- UNFACED GLASS FIBER BATT INSULATION
R-13 @ INT WALLS (BTWN CONDITIONED SPACES)
R-19 @ EXT WALLS (BTWN UNCOND. SPACES)
R-30 @ ROOF
- REFER TO FLOOR PLANS FOR WALL TYPE BEHIND FURRING WALL
- PLUMBING WHERE OCCURS, KEEP 1/2" CLR MIN TO FACE OF GYPSUM BOARD
- 7/8" HAT CHANNELS, SEE PLAN
- PROVIDE ACOUSTIC PADS ON ALL ELECTRICAL BOXES IN WALL
- CONCRETE WALL, REFER TO STRUCT DWGS

GENERAL NOTES

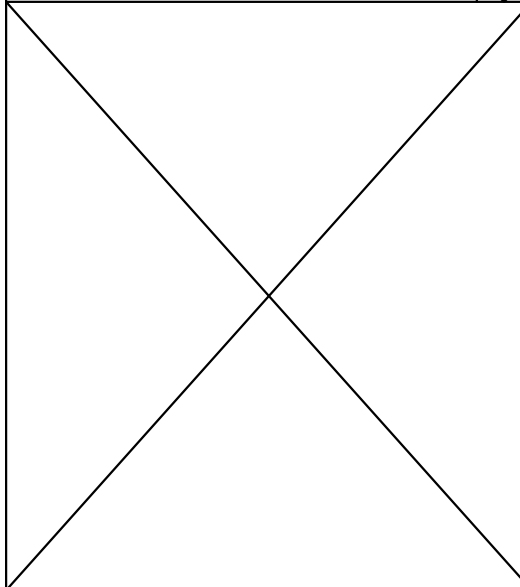
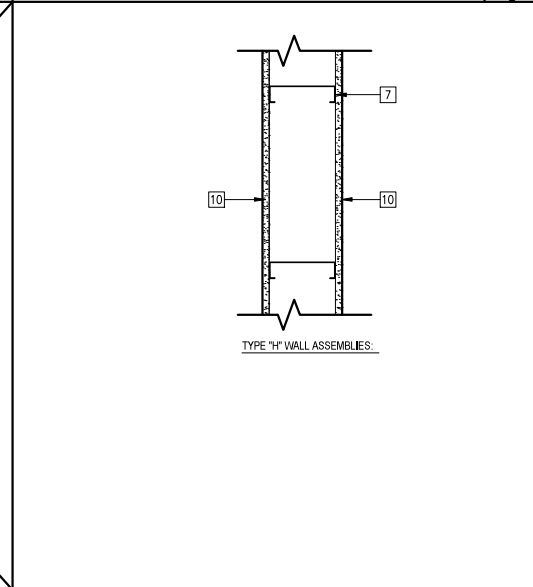
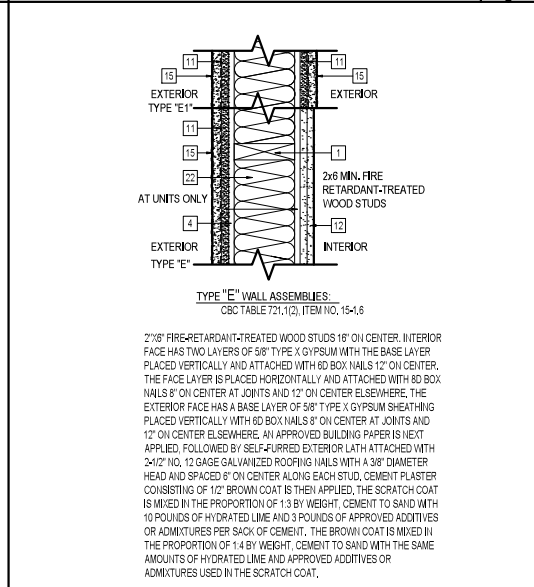
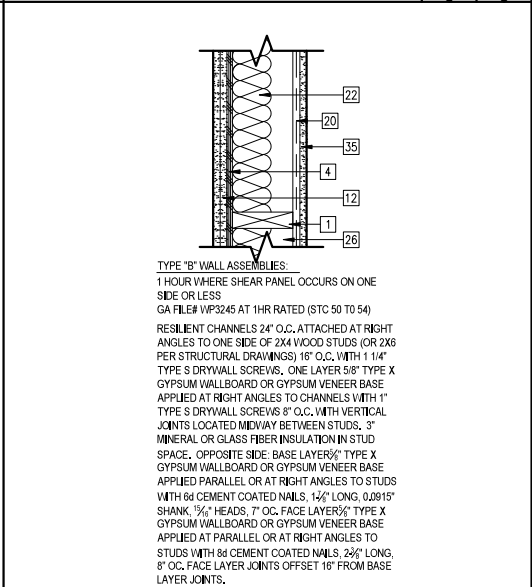
- REFER TO FLOOR PLANS FOR REQUIRED FIRE RATINGS OF OCCUPANCY SEPARATIONS AND SHAFTS
- TYPE AND SPACING OF RESILIENT CHANNELS AND CLIPS AND THE ATTACHMENT OF GYPSUM BOARD OR LATH SHALL BE AS REQUIRED FOR THE LISTED RATINGS
- INSULATION TO BE GREEN GUARD CERTIFIED AND MIN. 20% RECYCLED CONTENT
- GLASS FIBER BATT INSULATION SHALL HAVE A MIN "R" VALUE OF R-19 AT EXTERIOR WALLS & WALLS TO UNCONDITIONED SPACES AND R-30 AT ROOF/Ceilings. REFER TO SHEET G0.20 TITLE 24 CERTIFICATE OF COMPLIANCE
- REFER TO STRUCT DWGS FOR ALL STRUCTURAL MEMBERS FOR SIZING, SPACING AND DETAILS
- INSTALL MOISTURE RESISTANT TYPE "X" GYPSUM BOARD AT ALL BATHROOM AND KITCHEN AREAS
- PROVIDE FURRING WALL AT ALL PLUMBING LOCATIONS
- PROVIDE PLYWOOD SHEATHING OR GYPSUM SHEATHING AT ALL EXTERIOR VERTICAL SURFACE WHERE PLYWOOD SHEAR PANELS DO NOT OCCUR, PROVIDE A FLUSH BACKING FOR EXTERIOR FINISH
- PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS AND ROOF- CEILINGS SHALL BE PROTECTED AS REQUIRED IN CBC CHAPTER 7
- A 2-HR FIRE-RESISTANCE RATED ASSEMBLY MAY NOT CONTAIN PLUMBING OR MECHANICAL EQUIPMENT OR DUCTS, CBC 419.4



CONCRETE MASONRY WALL
SCALE: NTS
F

1 HR FR EXT METAL WALL
SCALE: NTS
J

CONCRETE WALL
SCALE: NTS
M

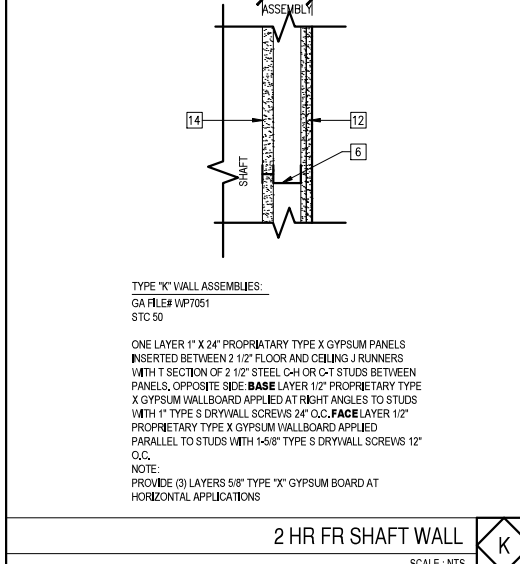
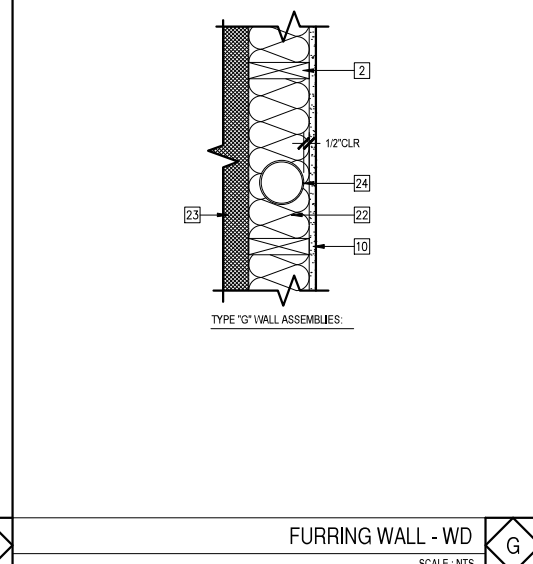
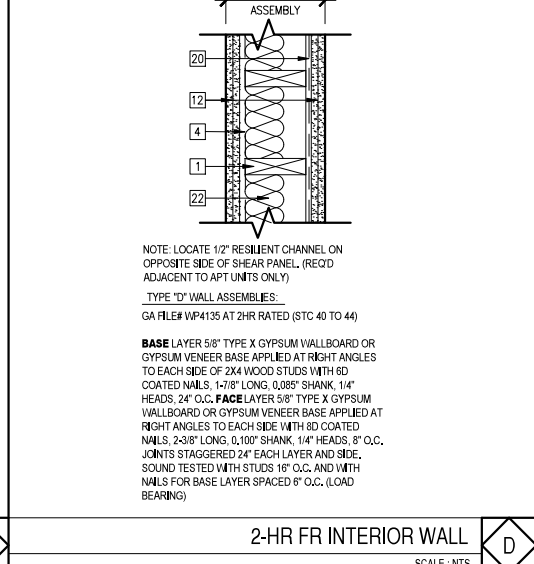
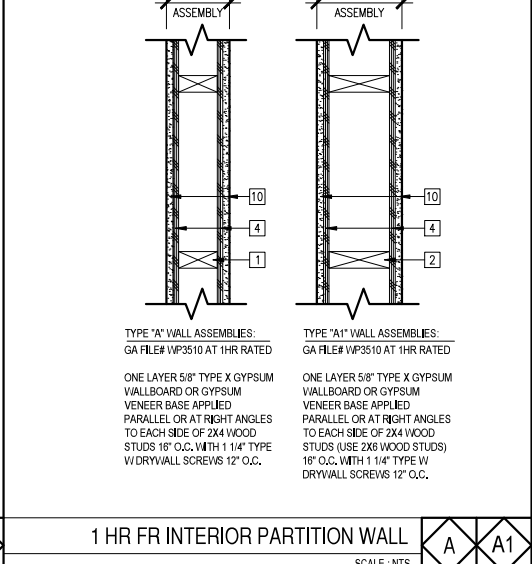


1 HR FR DEMISING WALL
SCALE: NTS
B

2-HR FR EXTERIOR WALL
SCALE: NTS
E, E1

NON-COMBUSTIBLE INTERIOR WALL
SCALE: NTS
H

NOT USED
SCALE: NTS
L



1 HR FR INTERIOR PARTITION WALL
SCALE: NTS
A, A1

2-HR FR INTERIOR WALL
SCALE: NTS
D

FURRING WALL - WD
SCALE: NTS
G

2 HR FR SHAFT WALL
SCALE: NTS
K



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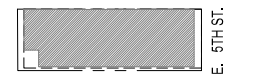
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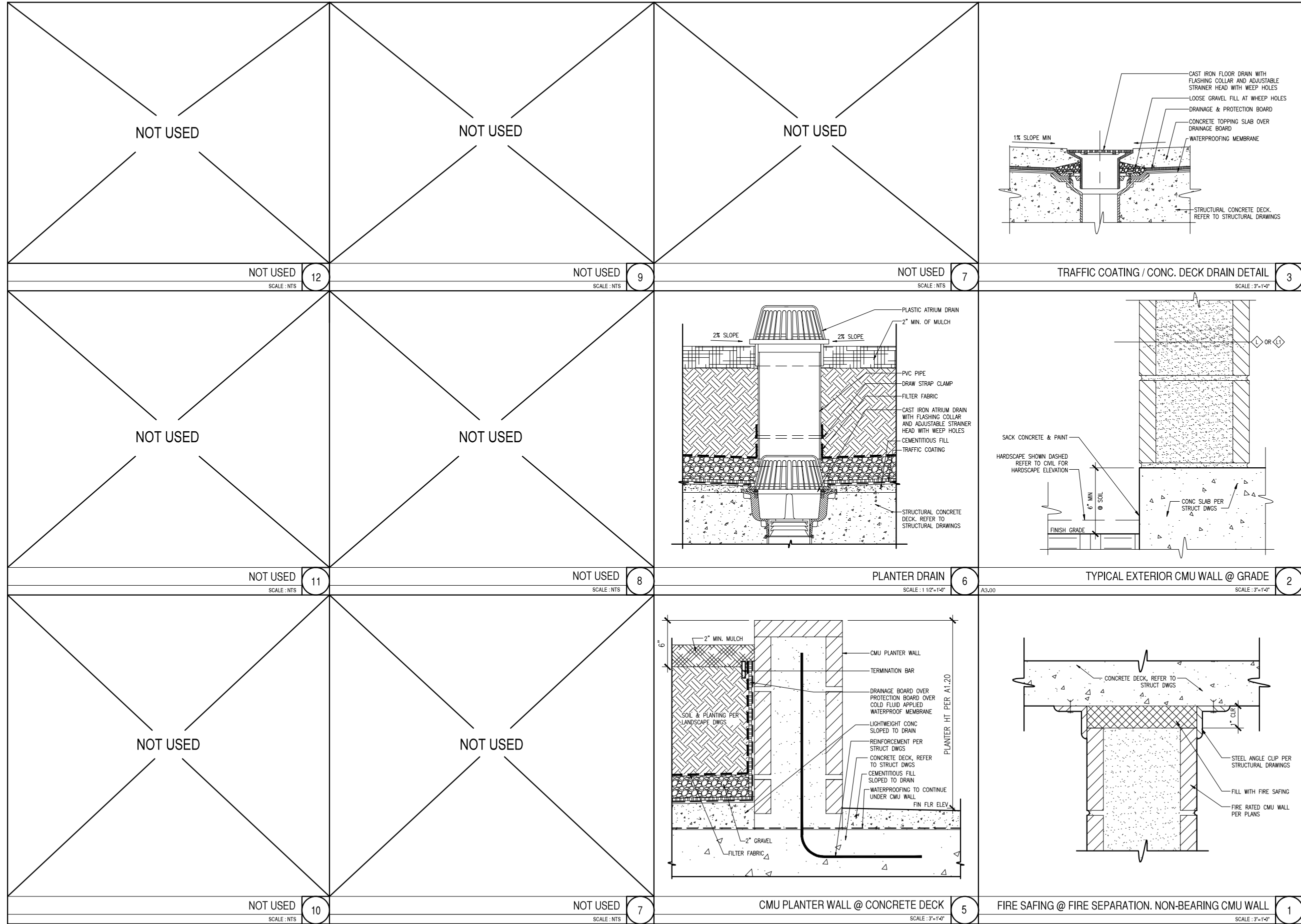
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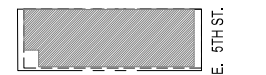
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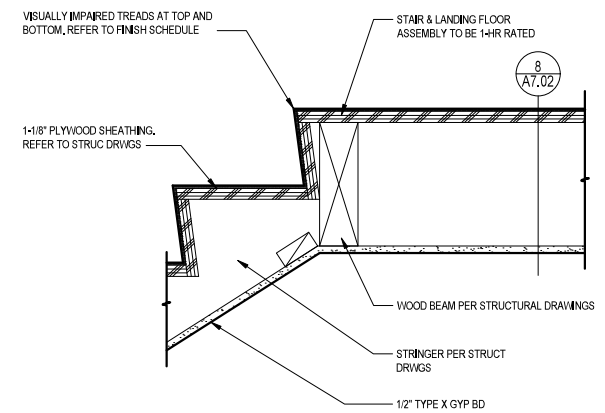
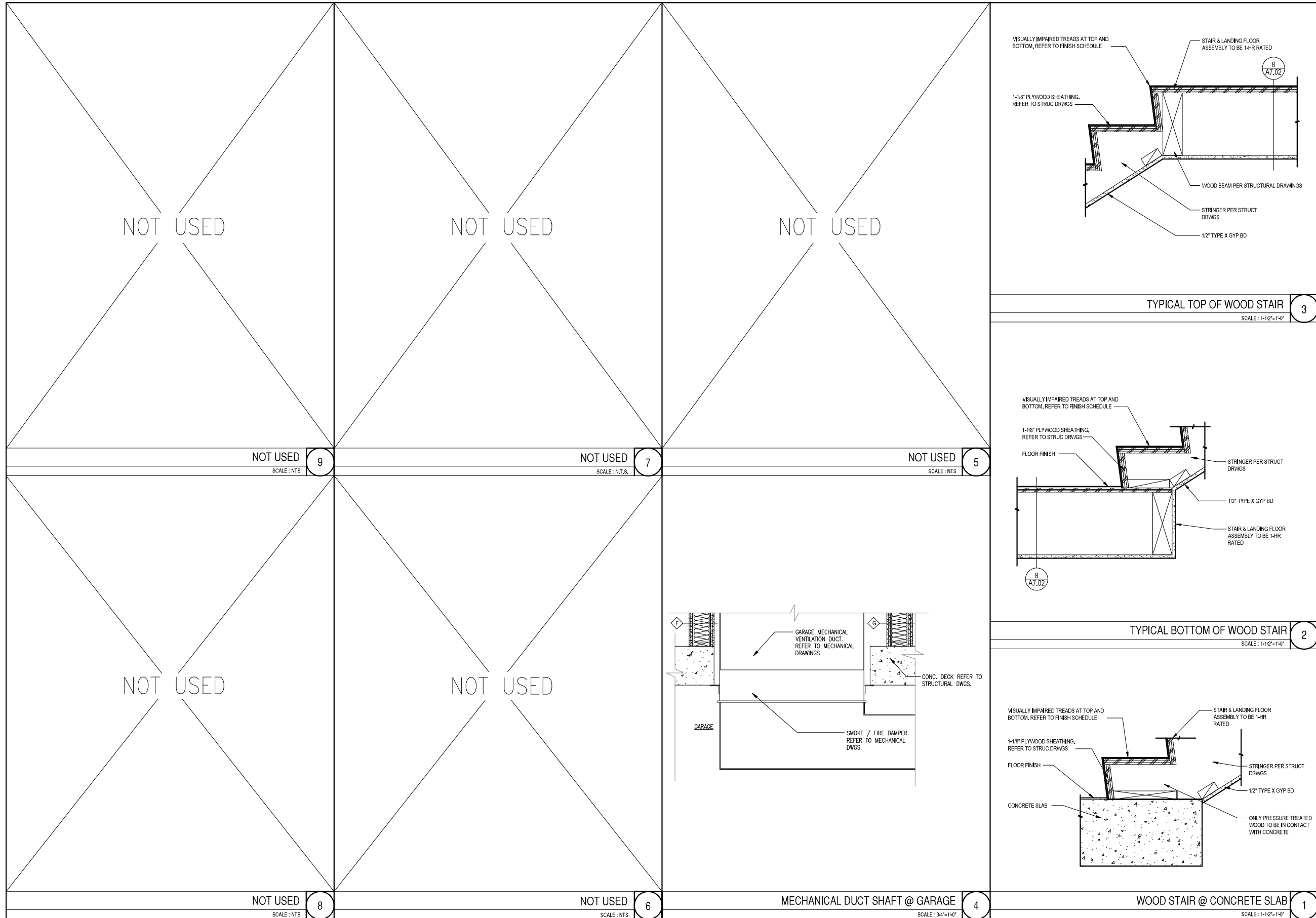
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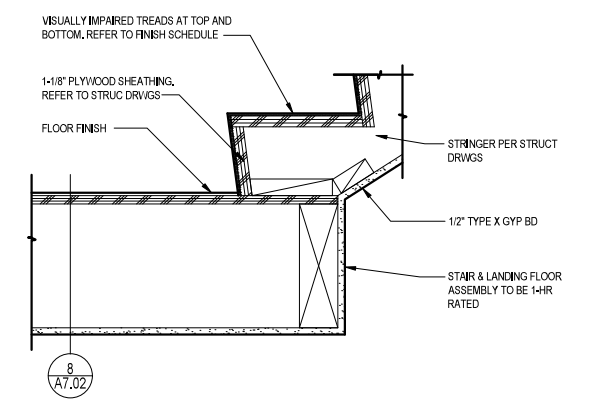
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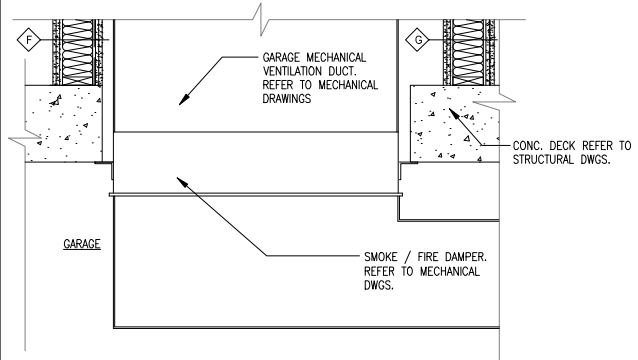
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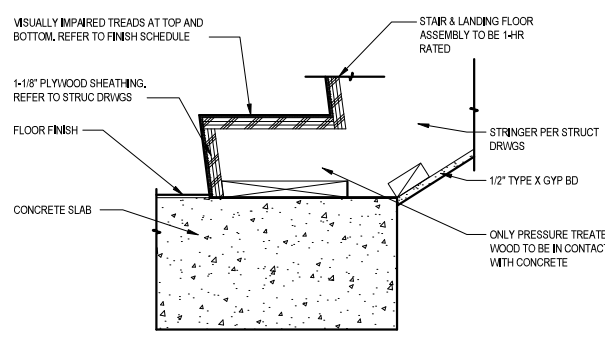
TYPICAL TOP OF WOOD STAIR
SCALE: 1-1/2\"/>



TYPICAL BOTTOM OF WOOD STAIR
SCALE: 1-1/2\"/>



MECHANICAL DUCT SHAFT @ GARAGE
SCALE: 3/4\"/>



WOOD STAIR @ CONCRETE SLAB
SCALE: 1-1/2\"/>



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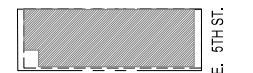
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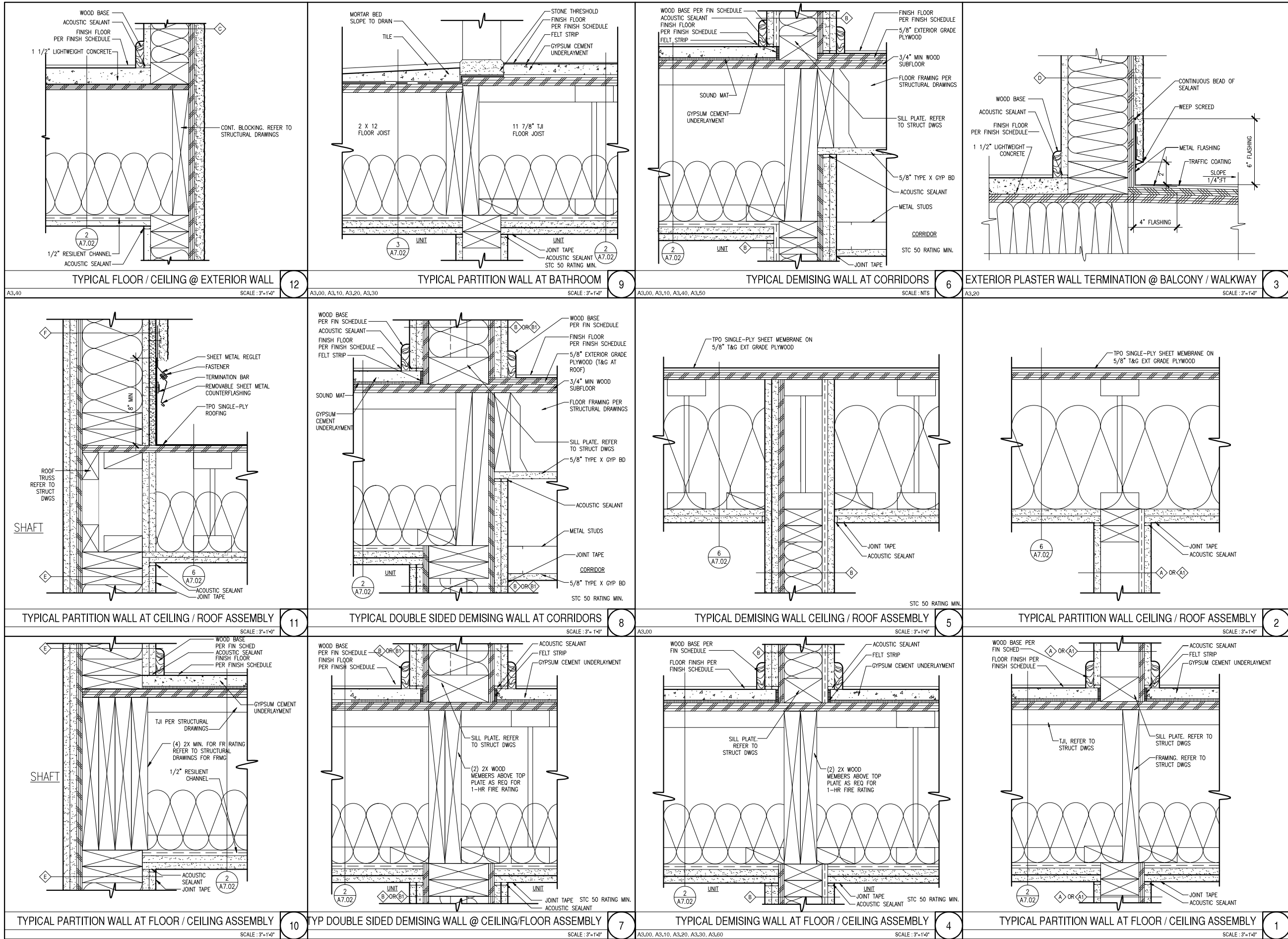
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FLOOR & WALL
DETAILS

ISSUE DATE: 05.07.2018

A7.05



TYPICAL FLOOR / CEILING @ EXTERIOR WALL 12 SCALE: 3/4"=1'-0"
 TYPICAL PARTITION WALL AT BATHROOM 9 SCALE: 3/4"=1'-0"
 TYPICAL DEMISING WALL AT CORRIDORS 6 SCALE: NTS
 EXTERIOR PLASTER WALL TERMINATION @ BALCONY / WALKWAY 3 SCALE: 3/4"=1'-0"

TYPICAL PARTITION WALL AT CEILING / ROOF ASSEMBLY 11 SCALE: 3/4"=1'-0"
 TYPICAL DOUBLE SIDED DEMISING WALL AT CORRIDORS 8 SCALE: 3/4"=1'-0"
 TYPICAL DEMISING WALL CEILING / ROOF ASSEMBLY 5 SCALE: 3/4"=1'-0"
 TYPICAL PARTITION WALL CEILING / ROOF ASSEMBLY 2 SCALE: 3/4"=1'-0"

TYPICAL PARTITION WALL AT FLOOR / CEILING ASSEMBLY 10 SCALE: 3/4"=1'-0"
 TYPICAL DOUBLE SIDED DEMISING WALL @ CEILING/FLOOR ASSEMBLY 7 SCALE: 3/4"=1'-0"
 TYPICAL DEMISING WALL AT FLOOR / CEILING ASSEMBLY 4 SCALE: 3/4"=1'-0"
 TYPICAL PARTITION WALL AT FLOOR / CEILING ASSEMBLY 1 SCALE: 3/4"=1'-0"



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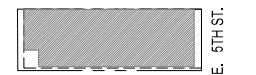
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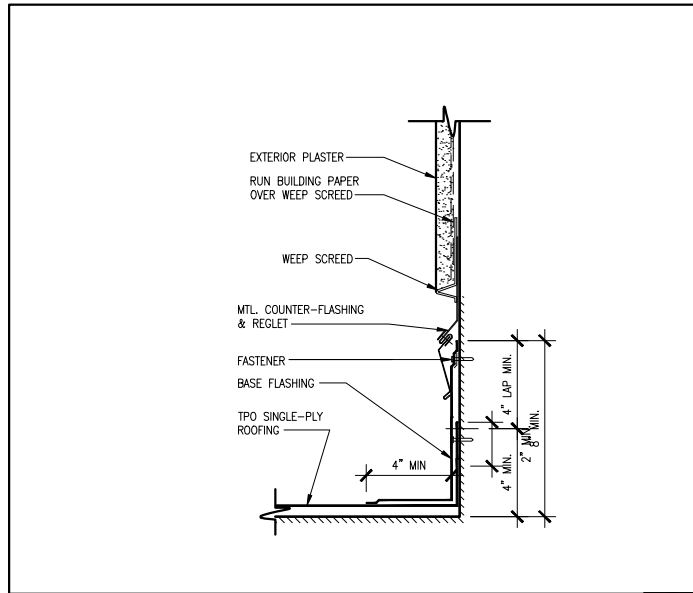
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ROOF DETAILS

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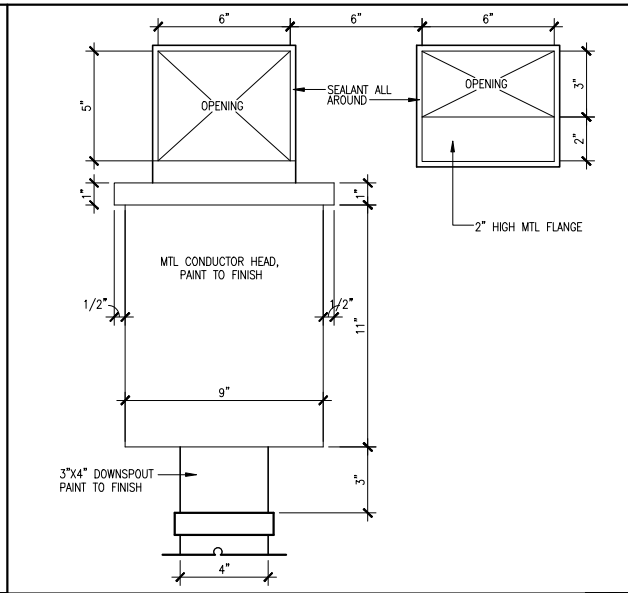
A7.07



TYP BASE FLASHING AT EXTERIOR PLASTER

SCALE: 3/4"=1'-0"

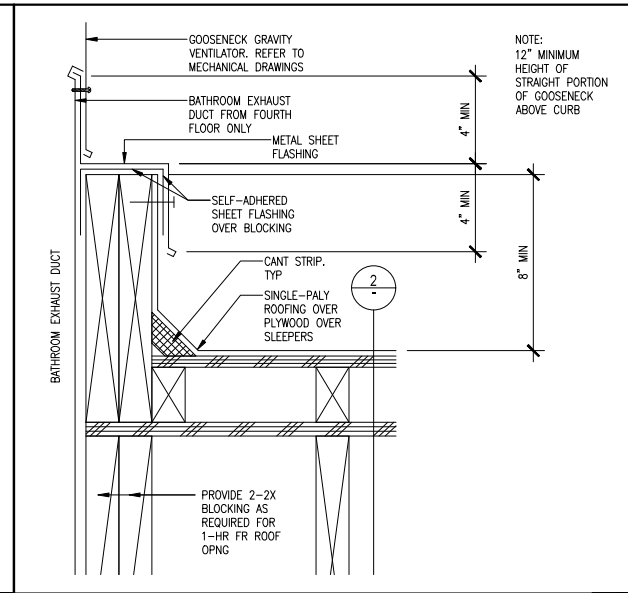
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DOWNSPOUT ELEVATION DETAIL

SCALE: 3/4"=1'-0"

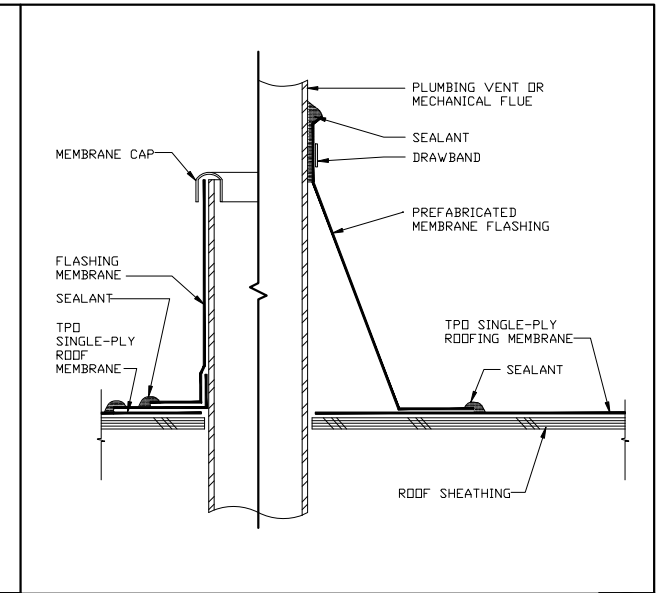
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DUCT PENETRATION @ ROOF

SCALE: 3/4"=1'-0"

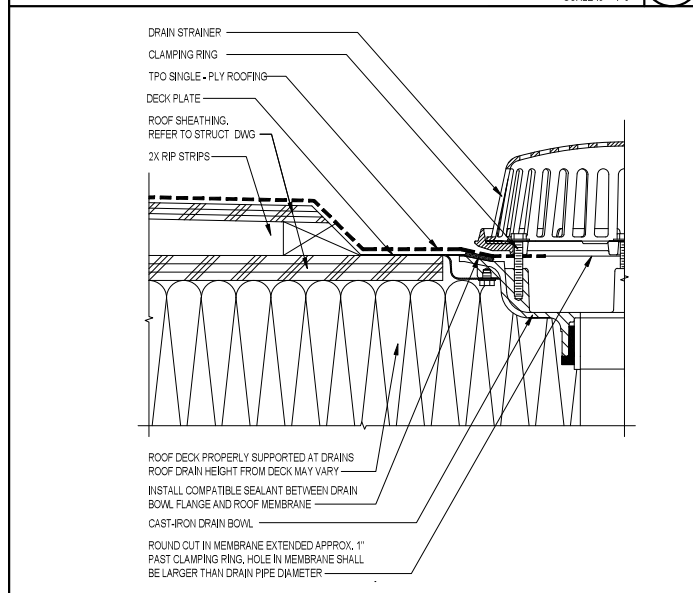
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TYPICAL PIPE PENETRATION

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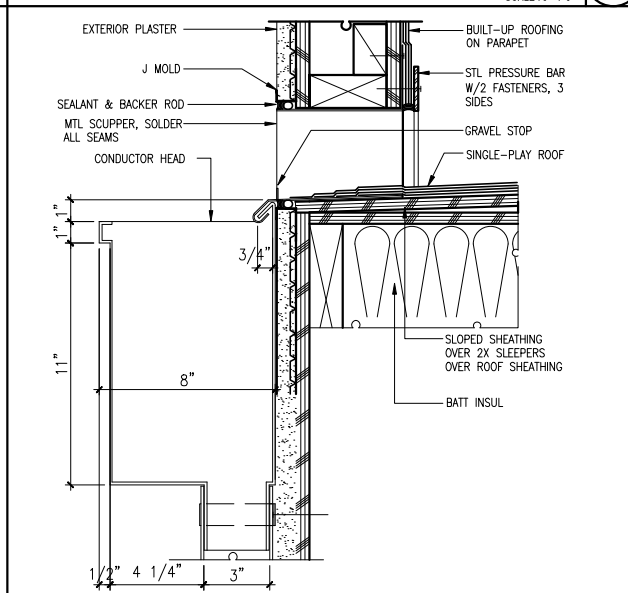
3



ROOF DRAIN

SCALE: 3/4"=1'-0"

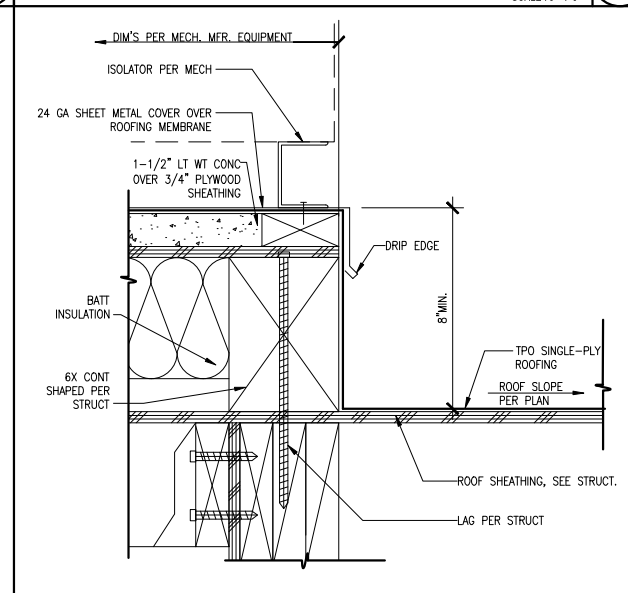
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DOWNSPOUT SECTION DETAIL

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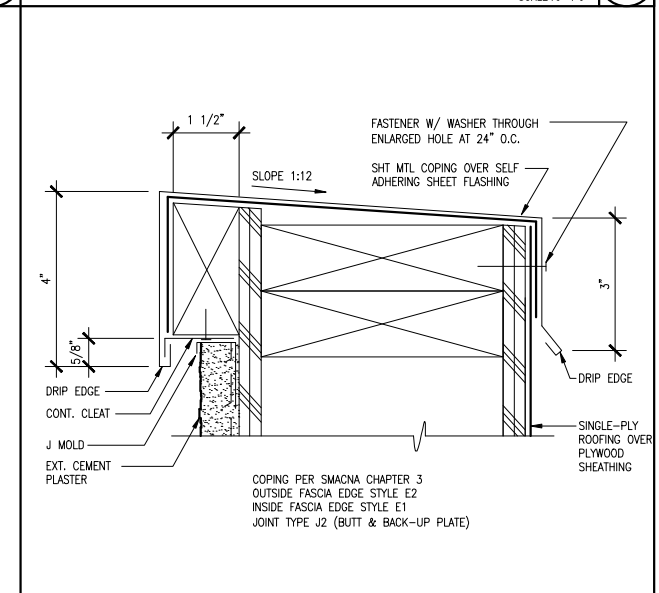
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MECHANICAL EQUIPMENT PAD

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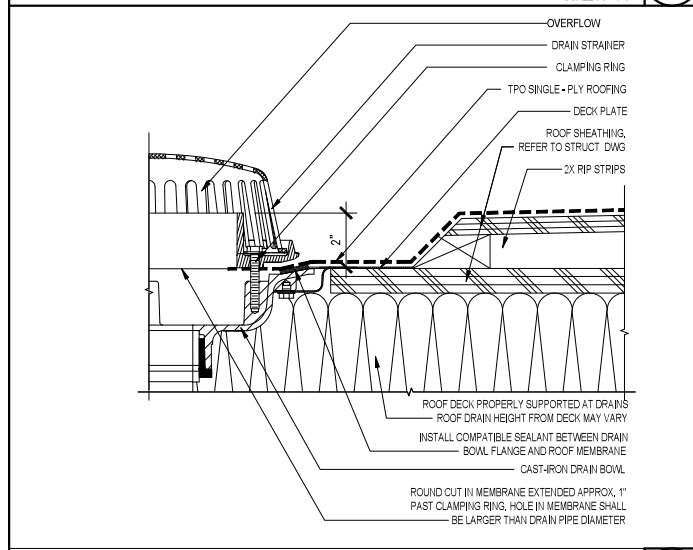
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TYPICAL COPING

SCALE: 3/4"=1'-0"

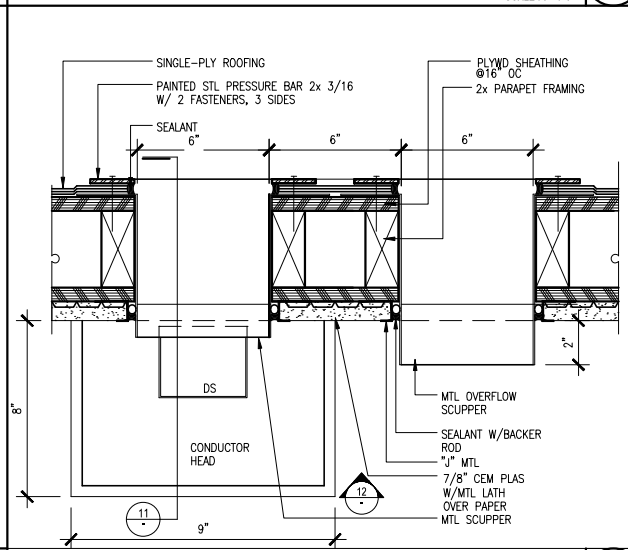
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ROOF OVERFLOW DRAIN

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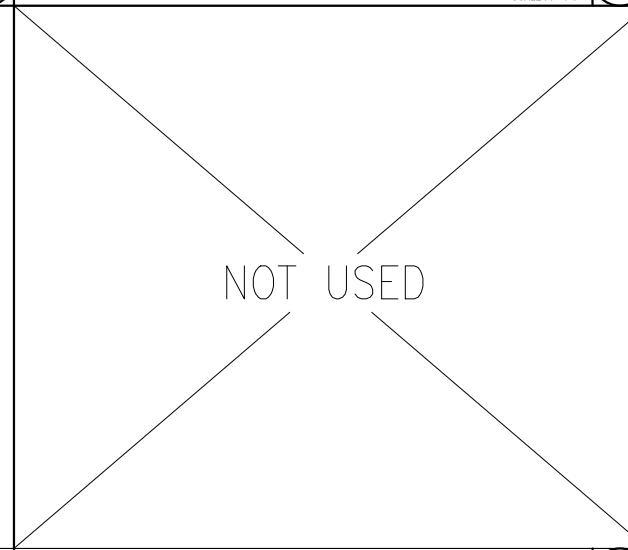
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DOWNSPOUT PLAN DETAIL

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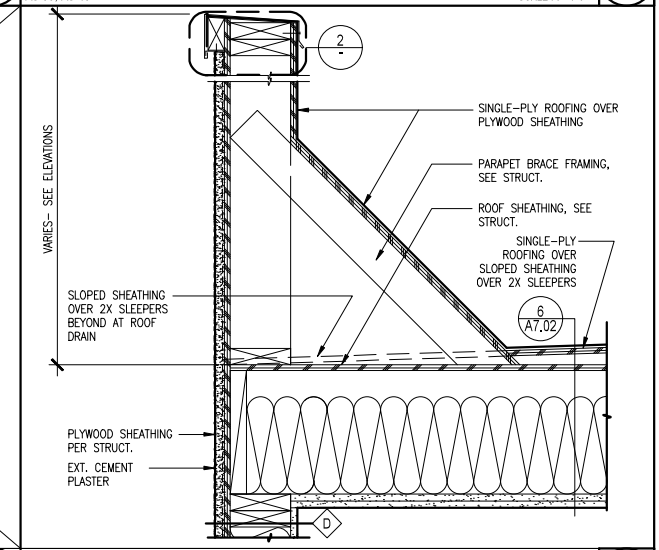
7



NOT USED

SCALE: NTS

4



TYPICAL PARAPET WALL SECTION

SCALE: 1/2"=1'-0"

1



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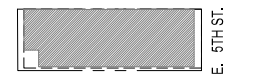
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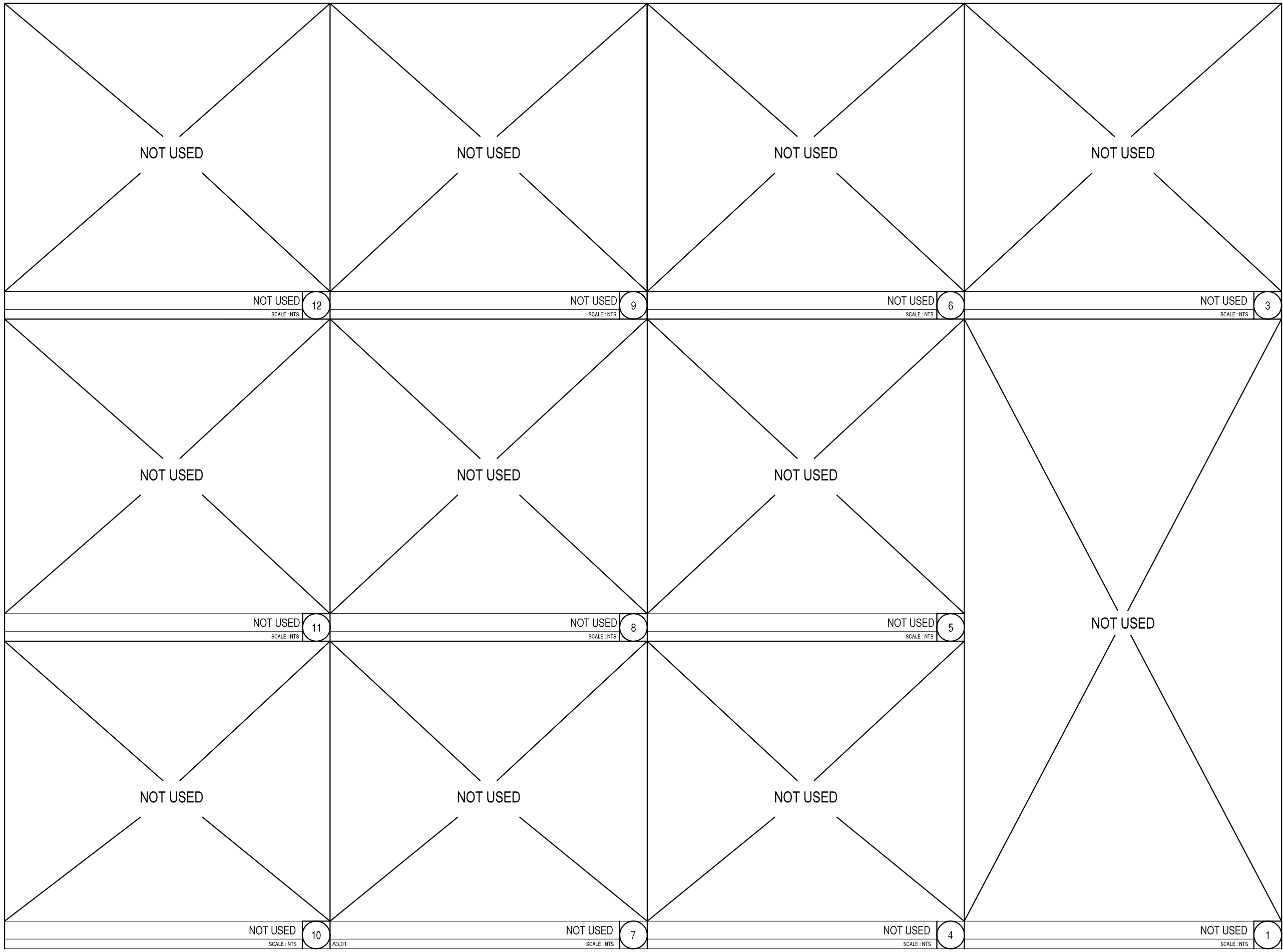
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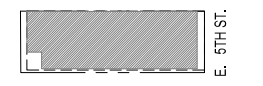
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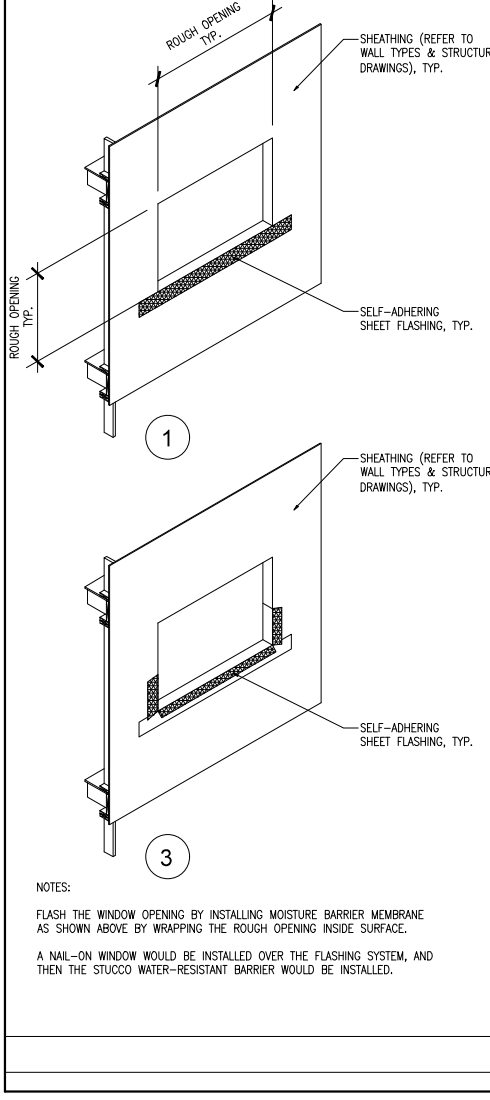
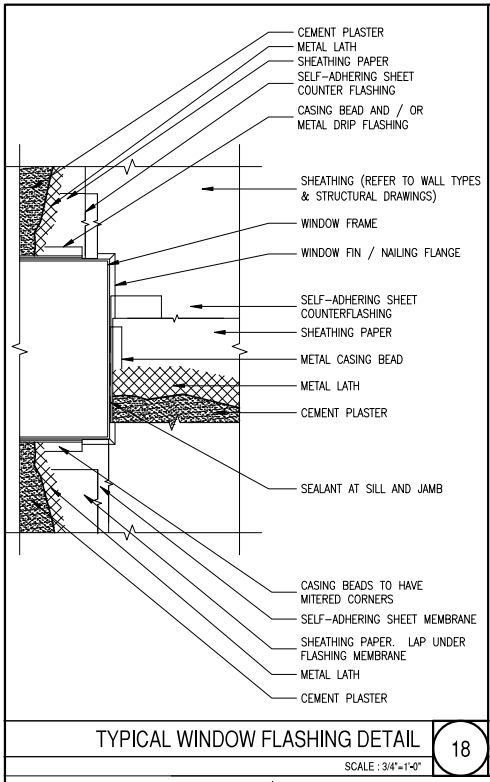
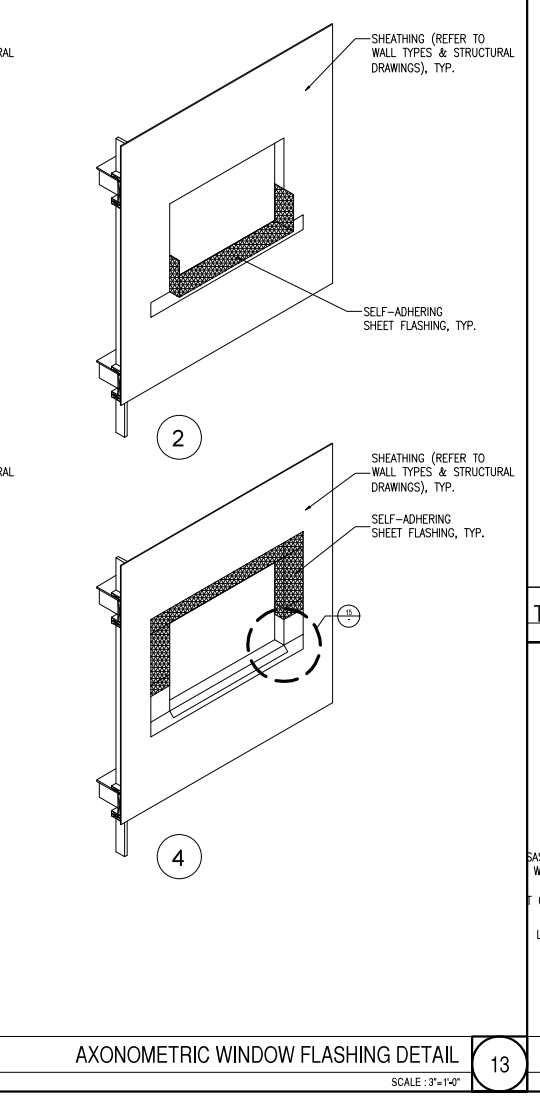
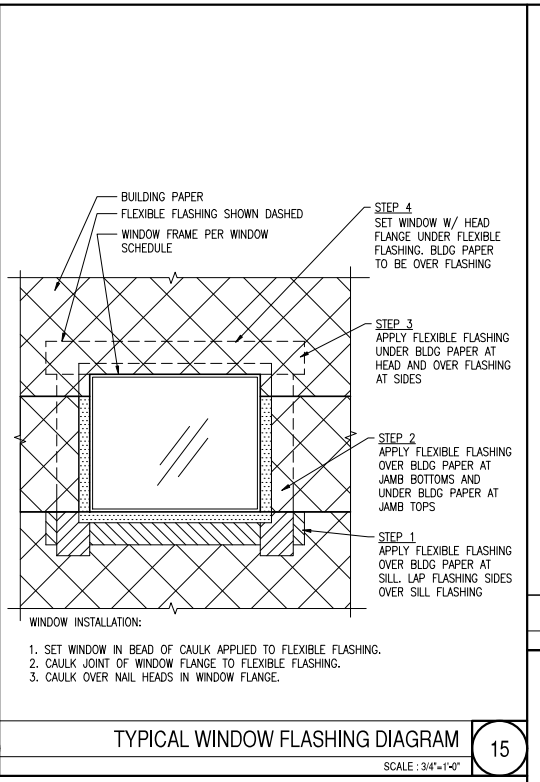
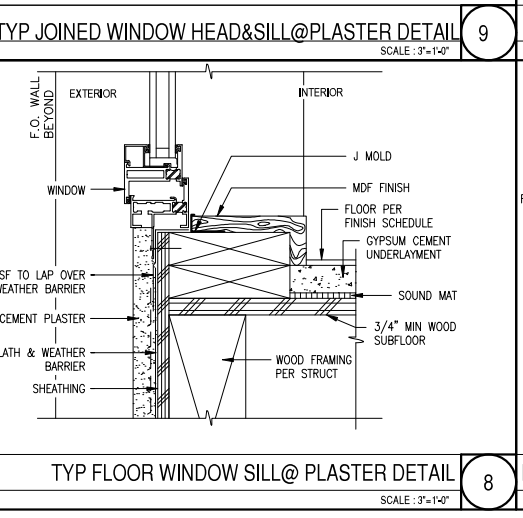
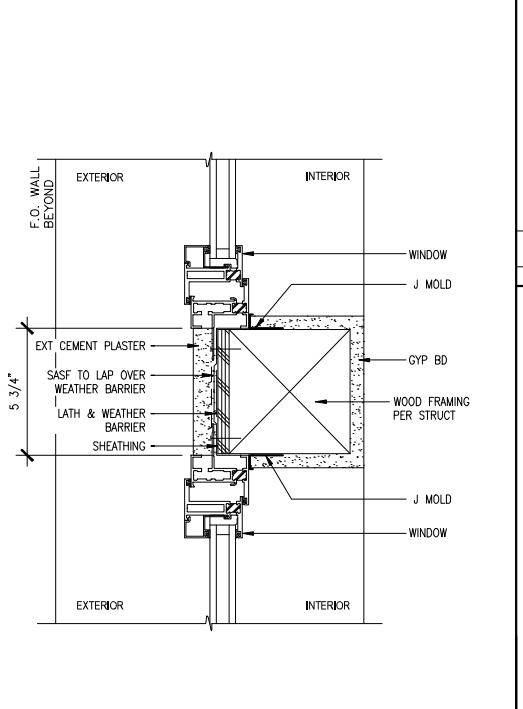
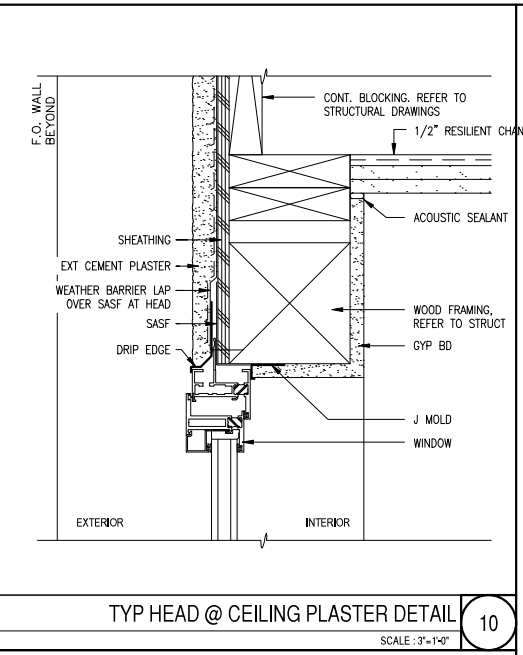
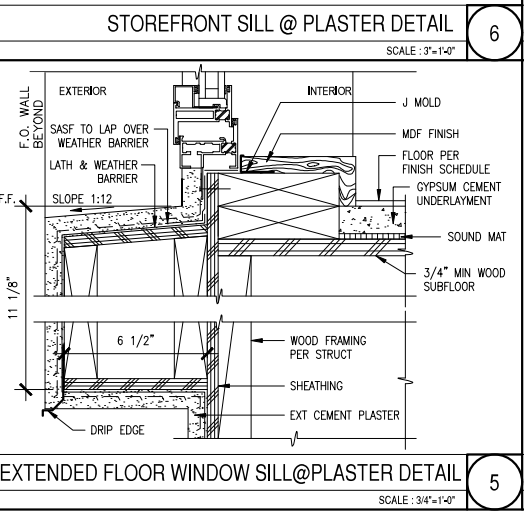
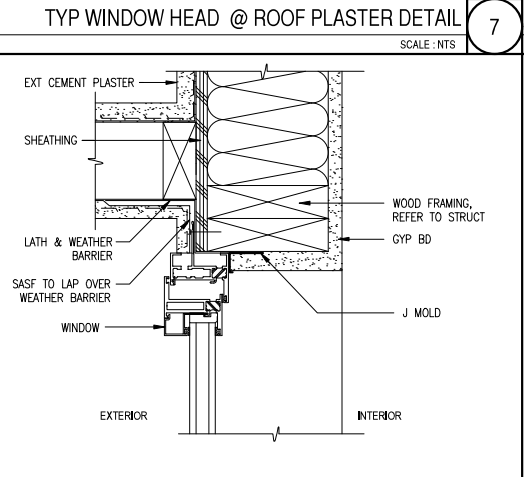
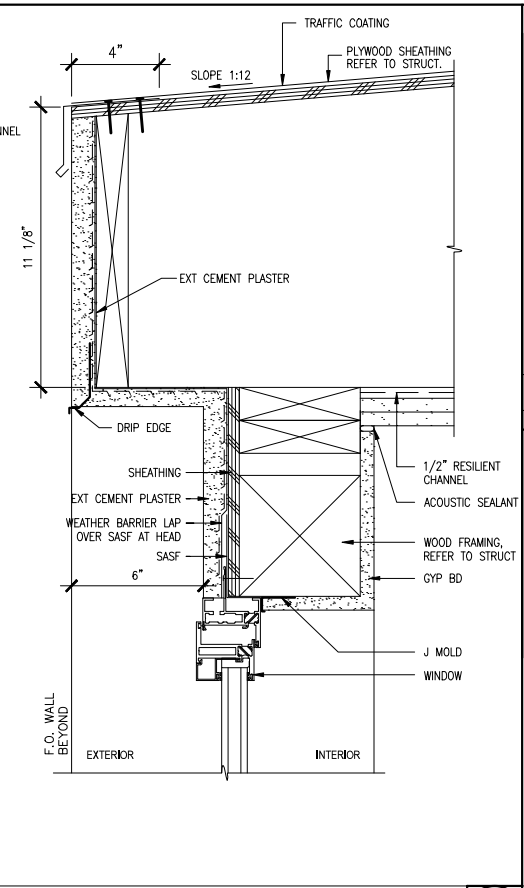
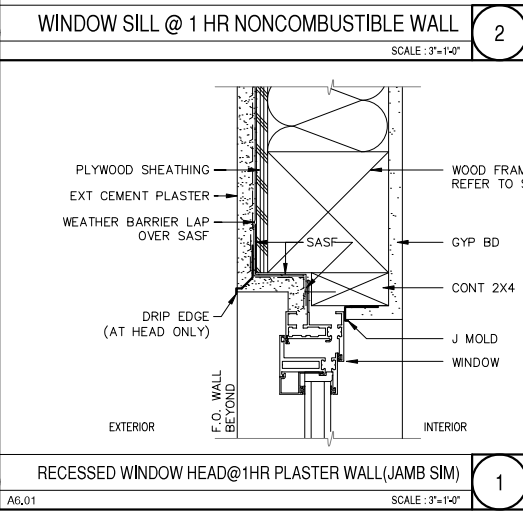
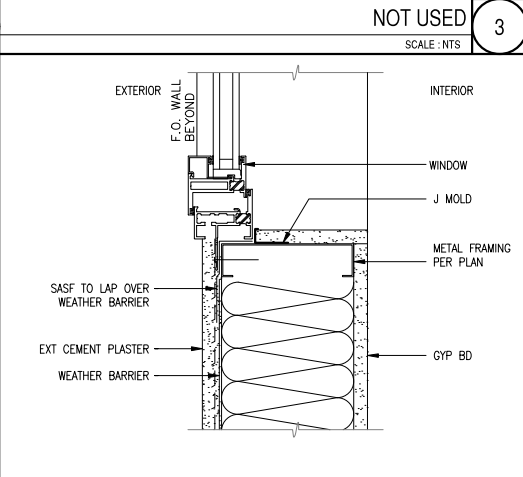
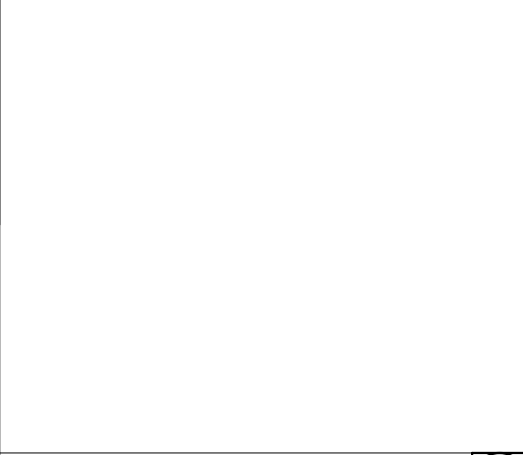
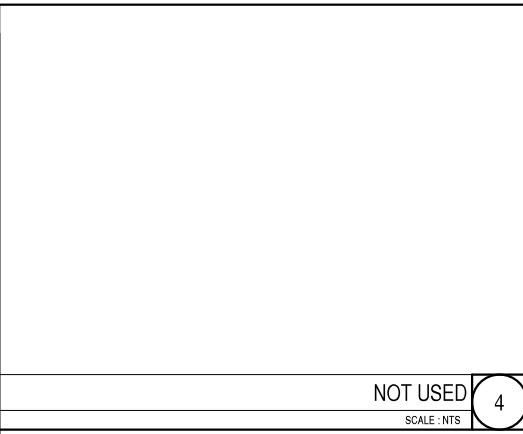
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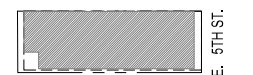
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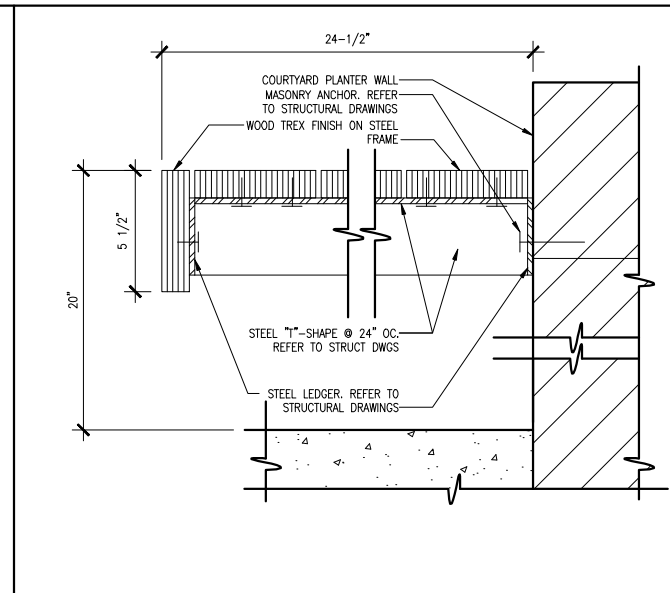
NO.	ISSUES / REVISIONS	DATE



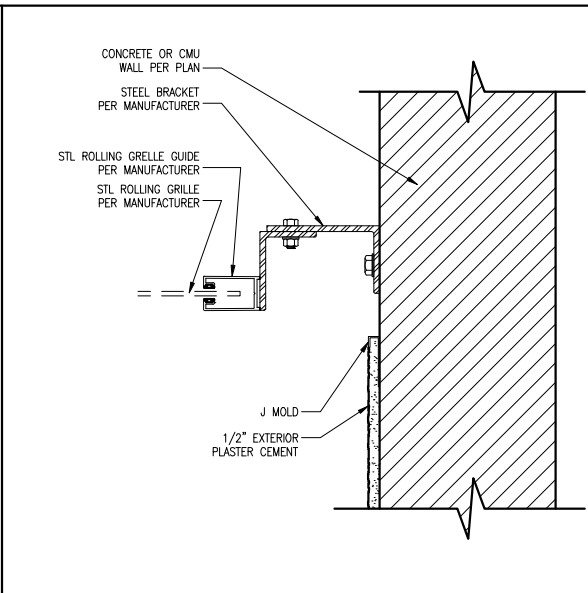
MISC. DETAILS

ISSUE DATE: 05.07.2018

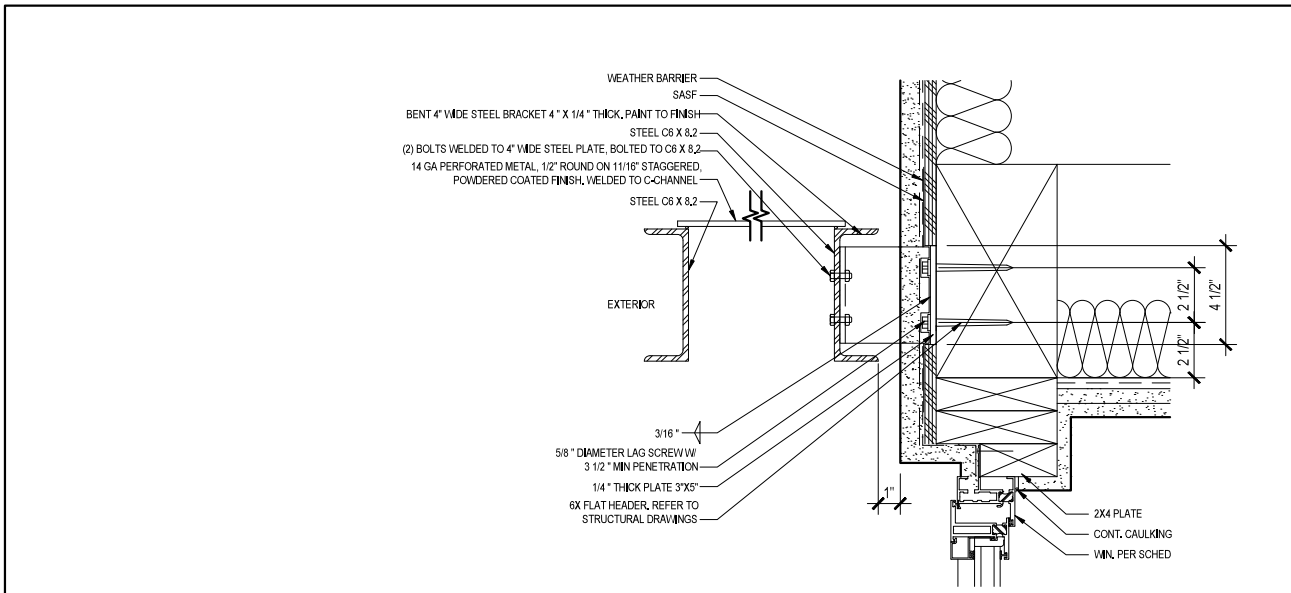
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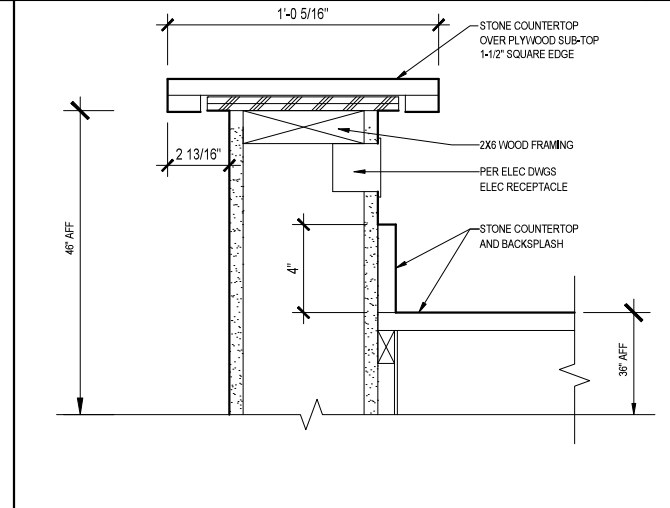
BENCH 3 SCALE: 3/4"=1'-0"



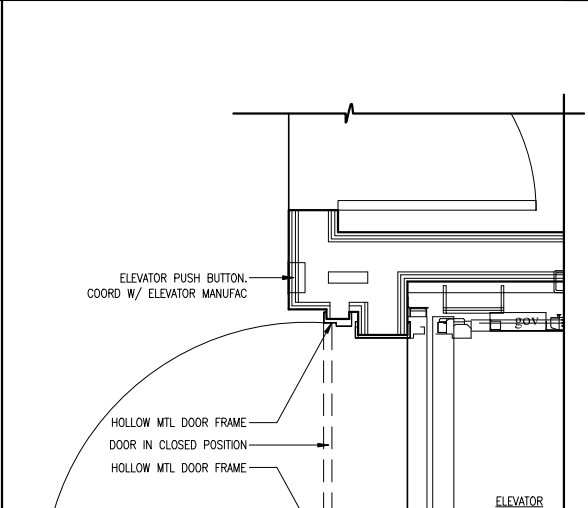
ROLLING GRILLE GATE @ CMU WALL 5 SCALE: 3/4"=1'-0"



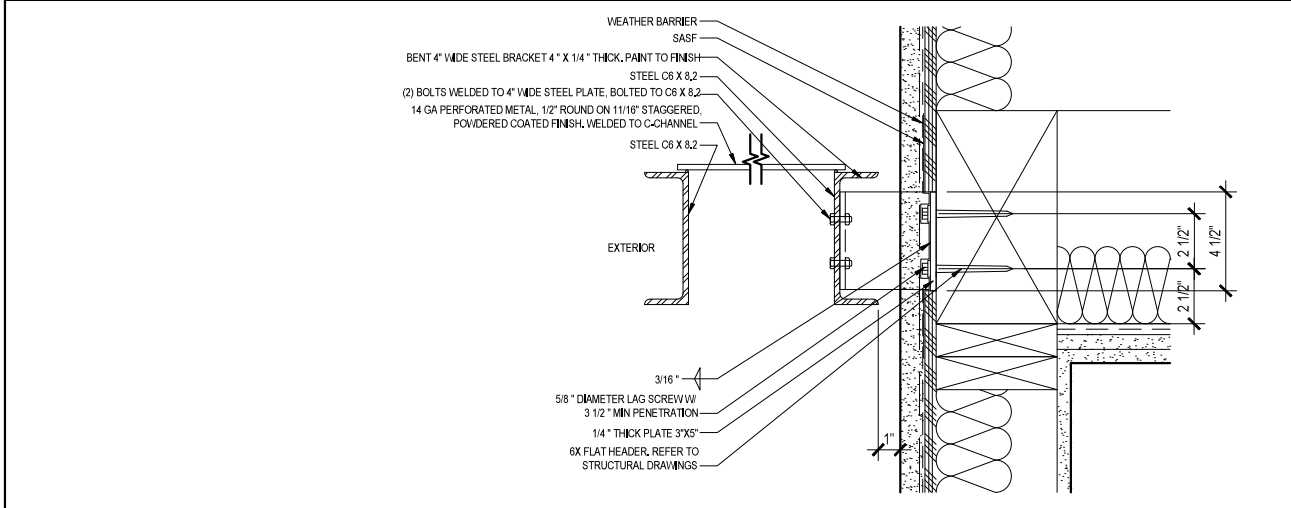
STEEL AWNING @ WINDOW 8 SCALE: 3/4"=1'-0"



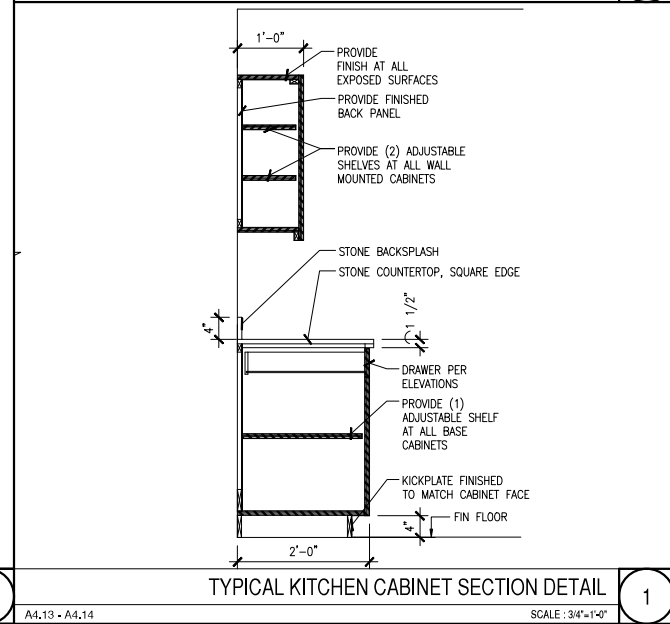
KITCHEN BAR COUNTER DETAIL 2 SCALE: 3/4"=1'-0"



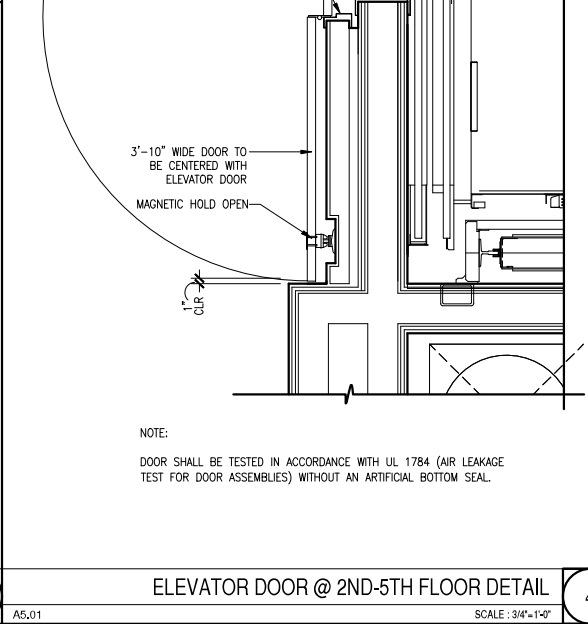
ELEVATOR DOOR @ 2ND-5TH FLOOR DETAIL 4 SCALE: 3/4"=1'-0"



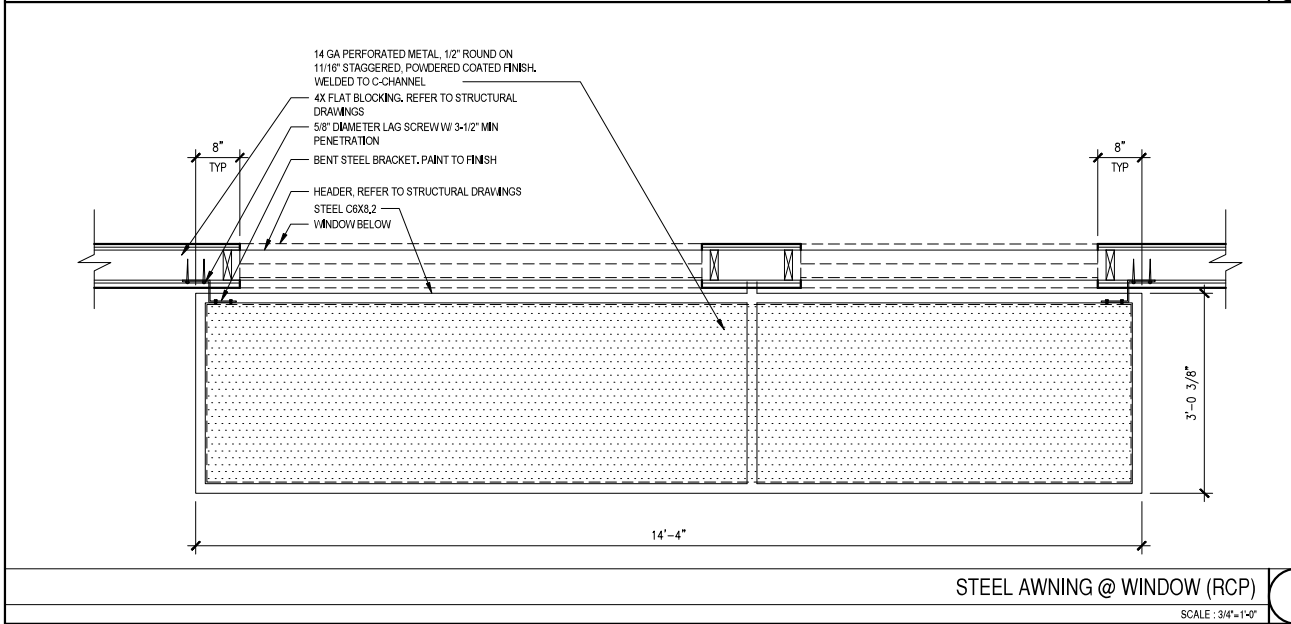
STEEL AWNING @ WALL 7 SCALE: 3/4"=1'-0"



TYPICAL KITCHEN CABINET SECTION DETAIL 1 SCALE: 3/4"=1'-0"



ELEVATOR DOOR @ 2ND-5TH FLOOR DETAIL 4 SCALE: 3/4"=1'-0"



STEEL AWNING @ WINDOW (RCP) 6 SCALE: 3/4"=1'-0"



209 S. MARKET ST.
INGLEWOOD, CA. 90301
3 2 3 . 5 5 3 . 2 3 7 6

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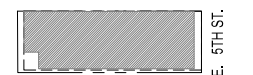
05.07.18
PLAN CHECK
SUBMITTAL

STAMP:

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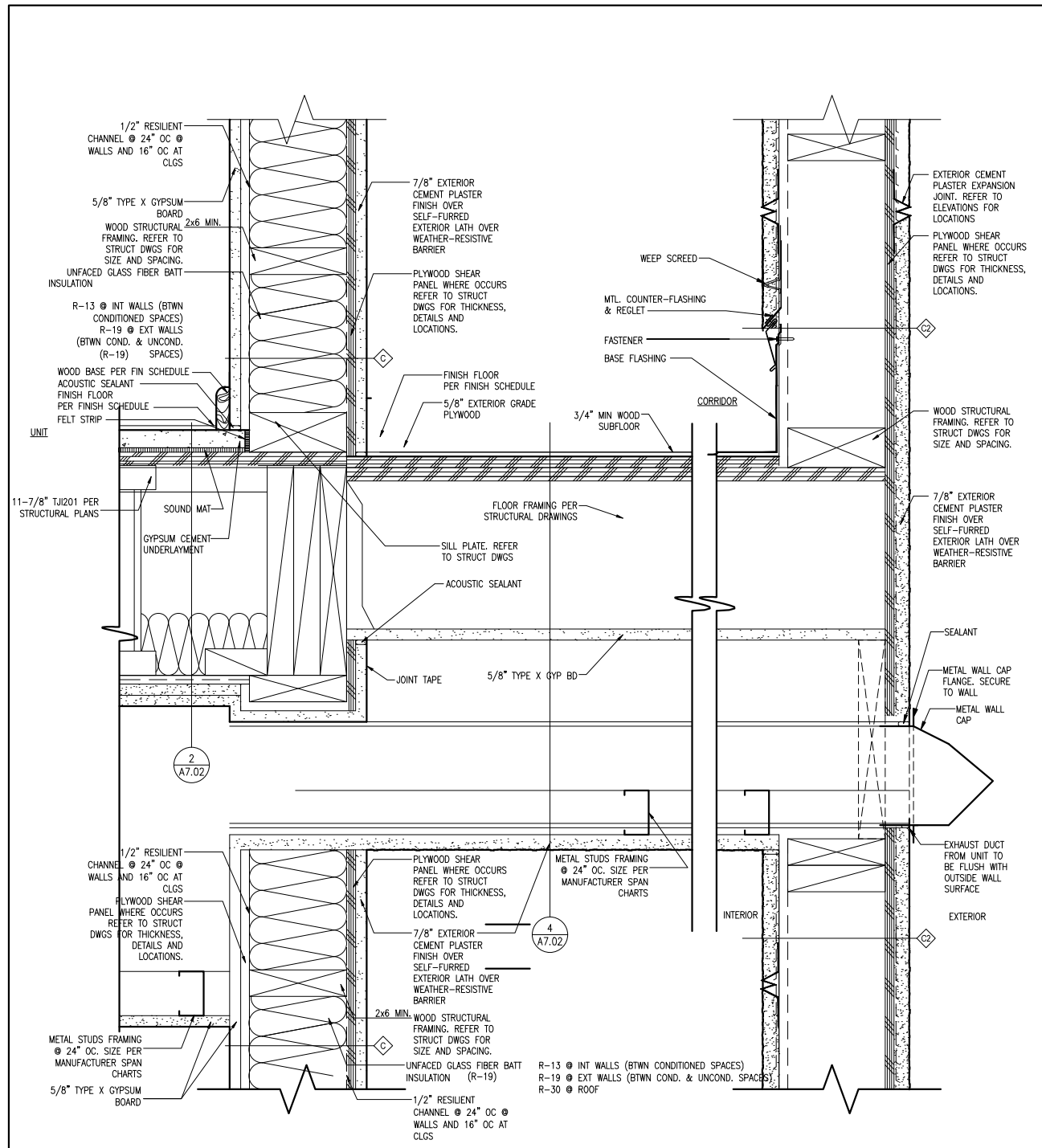
NO.	ISSUES / REVISIONS	DATE



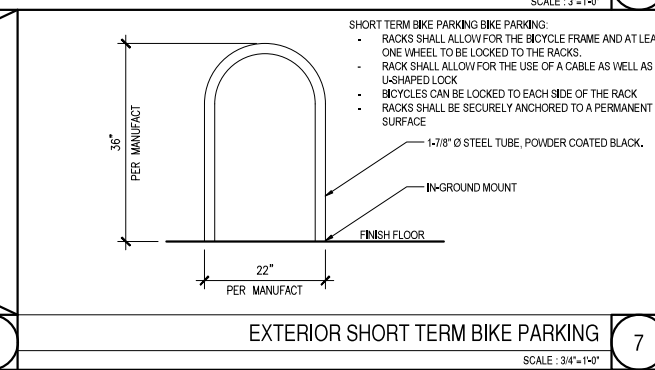
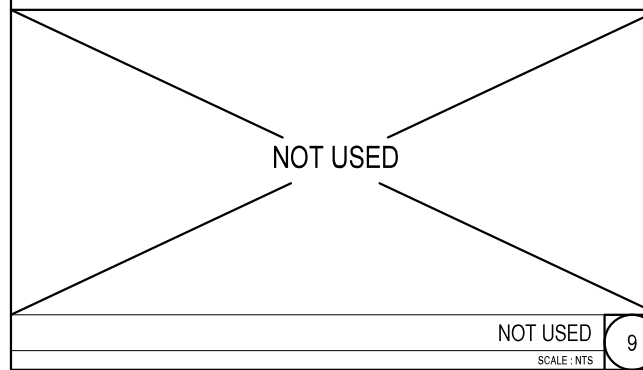
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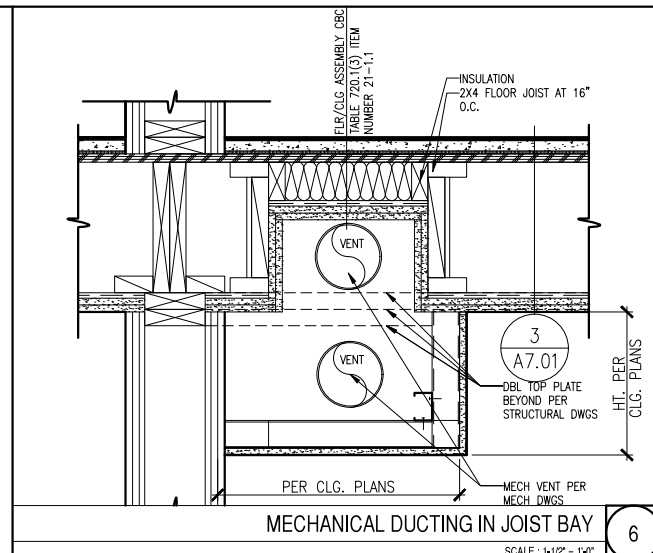
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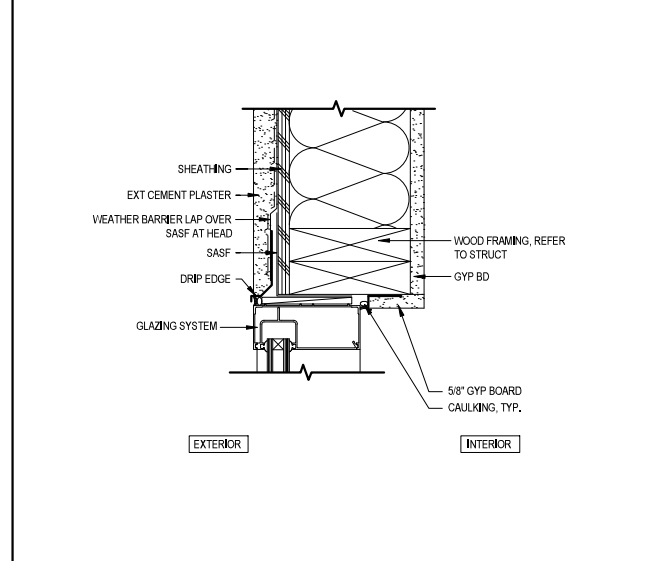
1-HR FIRE RATED SOFFIT WITH DUCT
SCALE: 3/4"=1'-0"



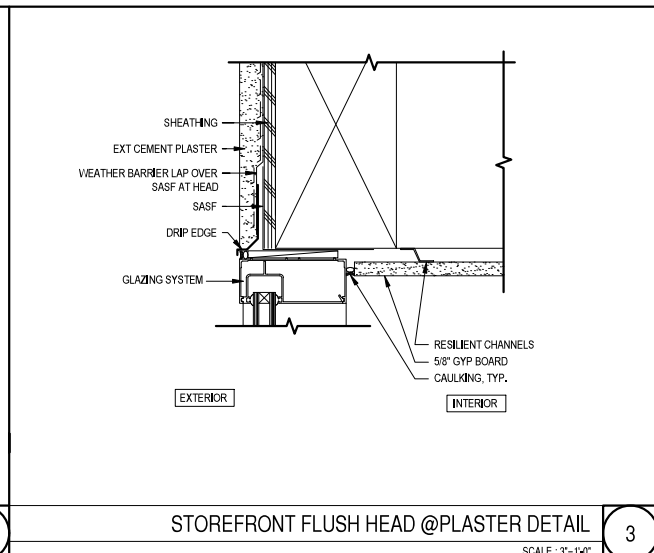
EXTERIOR SHORT TERM BIKE PARKING
SCALE: 3/4"=1'-0"



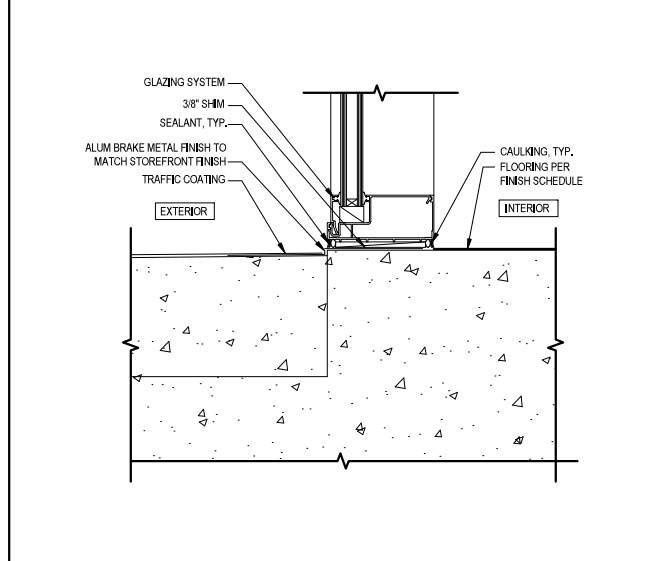
MECHANICAL DUCTING IN JOIST BAY
SCALE: 1-1/2"=1'-0"



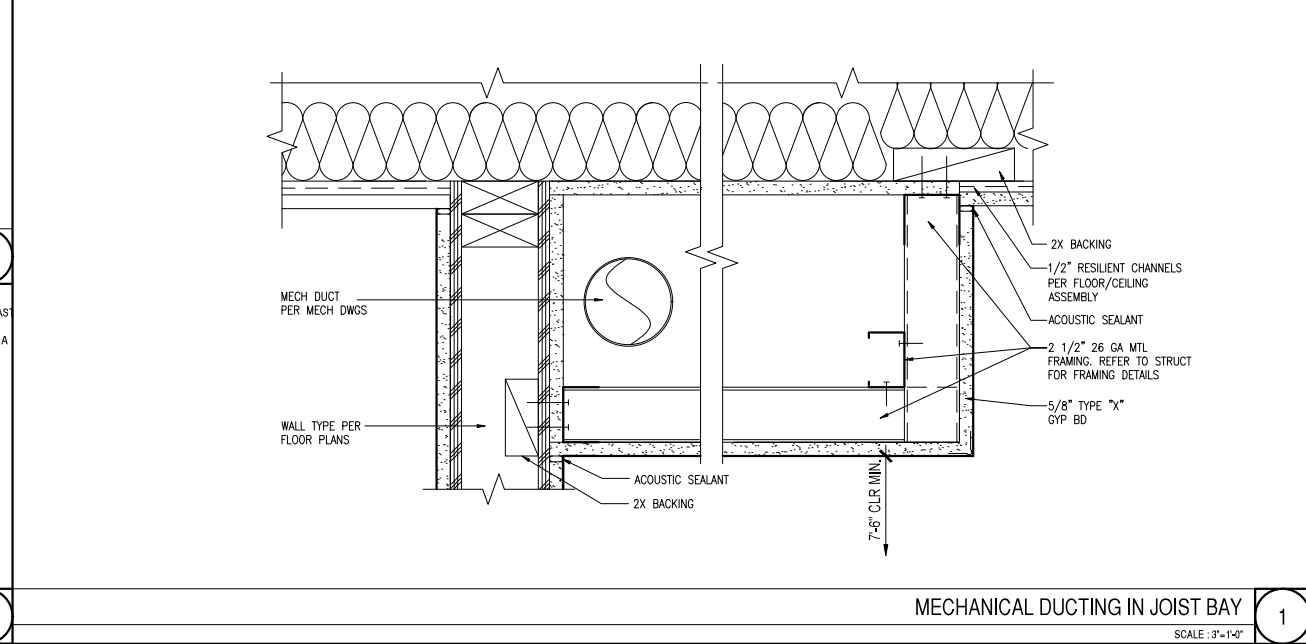
STOREFRONT JAMB @ PLASTER DETAIL
SCALE: 3/4"=1'-0"



STOREFRONT FLUSH HEAD @ PLASTER DETAIL
SCALE: 3/4"=1'-0"



STOREFRONT SILL @ PLASTER DETAIL
SCALE: 3/4"=1'-0"



MECHANICAL DUCTING IN JOIST BAY
SCALE: 3/4"=1'-0"